



**AGENDA
PUBLIC WORKS/SAFETY COMMITTEE
TUESDAY, JUNE 11, 2024
5:30 PM
DESTIN CITY HALL ANNEX COUNCIL CHAMBERS**

- 1. CALL TO ORDER**
- 2. ROLL CALL/PLEDGE OF ALLEGIANCE**
- 3. APPROVAL OF MINUTES**
 - A) May 14, 2024 Minutes**
- 4. NEW BUSINESS**
 - A) Draft Destin Design Manual**
- 5. CONTINUING BUSINESS**
 - A) Public Works/Emergency Management Update**
- 6. DISCUSSION**
 - A) 1. Jim Wood - Chair**
 - 2. John Green - Vice Chair**
 - 3. Marcie Bell**
 - 4. Sam Perman**
 - 5. Curtis Smith**
 - 6. Tammy Weidenhamer**
 - 7. Tom Weidenhamer**
 - B) Top Issues from each District**
- 7. PUBLIC COMMENTS** (Comments from the public on any matters considered at the meeting, or on any matters not on the agenda)
 - A) Stormwater/Floodplain Management Issues - Comments from the Public**

Any person requiring a special accommodation at this hearing because of a disability or physical impairment should contact the City Clerk at (850) 837-4242 at least 48 hours prior to the hearing. If a person decides to appeal any decision made with respect to any matter considered at such meeting, such person will need a record of the proceeding and for such purpose may need to ensure that a verbatim record of the proceeding is made, which record

includes the testimony and evidence upon which the appeal is to be based. (Sec. 286.0105, Florida Statutes)

CITY OF DESTIN



AGENDA ITEM

COUNCIL MEETING DATE: June 11, 2024

TYPE OF AGENDA ITEM: Action Item

AGENDA OUTLINE NUMBER: 3.A.

TO: Public Works / Public Safety Committee

THRU: Louis Zunguze, City Manager

FROM: Michael Burgess, Public Services Director

DATE: 06/05/2024

SUBJECT: May 14, 2024 Minutes

I. BACKGROUND: Draft Minutes from the May 14, 2024 PWPS Committee for review and possible approval.

II. DISCUSSION: N/A

- A. Link to Strategic Goals / Objectives:** N/A
- B. Effect on Budget (EOB):** N/A
- C. Level of Service (LOS):** N/A
- D. Legislative Sponsor:**

III. CONCLUSION: N/A

IV. RECOMMENDED MOTION: I move the minutes of the May 14, 2024 Public Works/Public Safety Committee be approved as submitted.

Attachments:

1. 5-14-24 pwps

**PUBLIC WORKS/PUBLIC SAFETY
COMMITTEE MEETING MINUTES
DESTIN CITY HALL BOARDROOM
TUESDAY, MAY 14, 2024 - 5:30 PM**

1. CALL TO ORDER & PLEDGE OF ALLEGANCE:

Vice Chairman Green called the Public Works/Public Safety Committee to order on Tuesday, May 14, 2024, at 5:30 p.m.

2. ROLL CALL:

<u>Members Present</u>	<u>Members Absent</u>	<u>Staff</u>
John Green	James T. Wood, Jr.	Kim Montgomery Deputy City Clerk
Sam Perman	Marcie Bell	Michael Burgess PW Director
Tom Weidenhamer		Ryan Scott City Engineer
Curtis Smith		

3. APPROVAL OF MINUTES:

➤ **March 12, 2024**

Motion to approve the minutes of the March 12, 2024, meeting was made by Committee member Smith with Committee member Weidenhamer providing the second. The motion passed 4-0.

4. NEW BUSINESS:

➤ **Main Street/North Lakeside Drive Speed Hump – City Engineer Ryan Scott**

According to the City Engineer, Mr. Scott, the speed warrant analysis results did not meet the required 85th percentile with the highest speed being 38 mph. They conducted another test, per Council member Hebert’s request, and the second one came back with the same results and therefore, the request does not warrant the speed hump installation per policy, and with the report coming back as not being warranted, he asked the committee how they want to proceed.

Motion by Committee member Weidenhamer, seconded by Committee member Smith to follow the current speed hump policy and to not recommend a speed hump, and close the request. The motion passed with a unanimous vote of 4-0.

➤ **Renewal and Replacement Funds – Public Works Director Michael Burgess**

According to the Public Works Director, Mr. Burgess all the resurfacing projects for the year have been completed, and there are approximately \$220k remaining funds in the RR-04 fund, which is the Transportation and Replacement Fund, and he asked the members if they wanted to expend the rest of the funds for ADA compliant sidewalk projects that need attention, restriping roadways or resurfacing and a few minor street projects such as:

- Re-striping of Indian Bayou Drive (all) ~\$50,000
- Re-striping Commons Drive (Airport Rd to roundabout) ~\$15,000

- Re-surfacing/Re-striping of North Lakeside Drive (all) ~\$210,000
- Re-surfacing any combination of the below Streets less than the total remaining.

After a brief discussion, Mr. Burgess informed the members he would bring back for their review and recommendation the list at their next meeting.

Vice Chair Green stated that there is a manhole that is failing at Harbor Lane and Planet with the road crumbling. He asked for the members to go into their assigned areas and review each street's condition and report anything they see that needs attention.

5. CONTINUING BUSINESS:

➤ Monthly Update

- Deputy Director position is still vacant
- Council directed staff to put the Median Maintenance Services Contract out to bid for the services

➤ Operational Update

- May 19-25, 2024 is National Public Works Week
- Paid Parking Vendor will go on the next meeting or go back out to bid
- Surplus items to auction if Council approves

➤ Project Updates

- Resurfacing/Restriping of Moreno Point Road – complete
- Resurfacing/Restriping of Legion Drive (Main to Beach) – complete
- Resurfacing/Restriping of Matthew Blvd – complete
- Resurfacing of Main Street (US98 to Main) – complete
- Resurfacing of Calhoun Ave (US98 to Cross) – complete
- Resurfacing of Community Center Parking lot – complete
- 6 Pedestrian crosswalk light sets (12 total) – complete
- US98 Median Improvements (SR293 to County Line) – Project has started
- New Dump Truck – June 2024
- New Vehicles for P&R, Code and Building – delivery tomorrow
- Four-Prong Lake bypass – complete

Emergency Management Update

➤ Operational Update

- Hurricane Season starts June 1st

- Michael Burgess attended the Florida Floodplain Managers Association Annual Meeting, is now a board member for an area from Pensacola to Tallahassee

➤ **Stormwater/Floodplain**

Vice Chairman Green opened this item to the public to speak on any issues they may have, with no one coming forward, he closed the public on the topic.

6. OLD BUSINESS:

➤ **Member Comments:**

- Committee member Weidenhamer spoke of how DWU uses a program called City Works and suggests staff look into that program. Mr. Burgess mentioned the programs the city uses through Tyler Technologies and how staff is looking into other options.

- **Committee member Smith** – Mentioned the sidewalk needs repaired on the north side of Scenic 98 the work is being done for the pipe system at Four Prong Lake.

7. ADJOURNMENT:

Having no further business at this time, the meeting adjourned at 6:03 p.m.

Adopted and approved this _____ day of _____ 2024.

John Green Vice Chairman

Kim Montgomery, Deputy City Clerk

CITY OF DESTIN – COMMUNITY DEVELOPMENT



AGENDA ITEM

MEETING DATE: June 11, 2024

BOARD/COMMITTEE: Public Works / Public Safety Committee

TYPE OF AGENDA ITEM: Action Item

OUTLINE NUMBER: 4.A.

TO: Public Works / Public Safety Committee

THRU: Louis Zunguze, City Manager
Kimberly Kopp, City Attorney

FROM: Steve O'Connor, Principal Planner

DATE: May 22, 2024

SUBJECT: Draft Destin Design Manual

I. BACKGROUND: On April 5, 2021, Staff brought the Scope of Work and Budget to completely rewrite the Land Development Code (LDC) for approval to the City Council, both of which were approved unanimously. Since that time, Staff has worked with the 3TP Consultants to diligently and systematically move forward with drafting the new LDC. This work to date has involved the following:

- **Review of Comprehensive Plan Policies**
- **Developing Planning Areas and their associated Intent Statements**
- **Review of the LDC text chapter by chapter**

II. DISCUSSION: As part of the **Land Development Code (LDC) Re-write**, Staff was asked to make the Code as clean, organized, and easy to use as possible. There are many regulations throughout the current LDC that are not necessary to maintain within the Development Code but rather a Design Manual, which the Planning Industry is moving towards to accomplish the goals of the re-write project.

As such, Staff is proposing the **Destin Design Manual (DDM)** as presented to the Committee tonight. A design manual is a document that holds minimum design specifications or even processes that do not have any bearing on “character defining” elements of a development or the Code in general. These minimum standards are industry standards that have a proven record to provide the required safety to the public.

For example, minimum accessway dimensions to a property. These regulations change and are dependent upon the type of development, i.e., residential, or non-residential. As outside

agencies, such as public safety agencies or even the Building Code change, the LDC should keep up with these changes. The **Design Manual**, as the repository for these designs, is the document that can be updated as needed or requested without affecting the LDC, since the LDC references the minimum standards of the DDM where appropriate.

Further, the **DDM** intends to implement the City's policies regarding aesthetic, infrastructure, and minimum design standards, and processes that will help the City build the community the Comprehensive Plan envisions. The **DDM** covers a broad range of designs and processes to facilitate and promote the safe and smart development and redevelopment of the City of Destin. The **DDM** also provides specific guidance for site and Right-of-Way (ROW) development from landscaping to bollards, to waste facilities, that will help foster and maintain the changing **Best Management Practices (BMPs)** for the Building, Engineering, and Planning industries.

Beyond just the specifications for certain site elements and or design standards, the **DDM** provides approved drawings that meet the minimum code requirements for required development elements and can be utilized by design professionals without having to draw the details themselves. This will help save time on plan development, Staff review, and the overall permitting timeline. The **DDM** is not intended to live within the LDC for regulatory purposes, but rather as a document that shows developers the "**how**" of the site elements for their project(s). Think of the LDC as the document regulating "**what**" you must/can do, while the **DDM** provides the guidance on "**how**" you must/can do it. Since the **DDM** details how elements are constructed, it must also be updated and audited more regularly to ensure the details meet the current best practices.

Staff request the Committee to review and provide any feedback or comments about the manual or any questions regarding how it is utilized and maintained. The proposed **DDM** is a different way of doing development review within the City. It is a process improvement happening across the state and country right now as best practice to help reduce review times, stay current with best practices, and distinguish the regulations from design minimums.

- A. **Link to Strategic Goals / Objectives:** #2. A green and sustainable environment
#3. Improve mobility and connectivity
#4. Enhanced quality of life and safety for families
#5. Economic development and revitalization
#6. Effective, efficient, and aesthetically pleasing infrastructure
- B. **Effect on Budget (EOB):** Budget for this work is already approved.
- C. **Level of Service (LOS):** Develop and implement processes for consistent and streamlined application of codes and procedures.
- D. **Legislative Sponsor:**

III. CONCLUSION: Staff requests the Committee's feedback and positive recommendation on the **Draft Destin Design Manual** as presented. If there are any requested changes, Staff will make those updates and present those to the LPA for their consideration.

IV. RECOMMENDED MOTION: I move to forward a positive recommendation to the Local Planning Agency regarding the Draft Destin Design Manual.

ALTERNATIVE MOTIONS:

- I move to forward a positive recommendation to the Local Planning Agency regarding the Draft Destin Design Manual with the changes as discussed **OR**
- I move to recommend denial to the Local Planning Agency regarding the Draft Destin Design Manual.

Attachments:

1. 1 - Draft DDM

City of Destin, FL - Land Development Code

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THE CITY OF DESTIN DESIGN MANUAL

SECTION 1.00 INTENT, APPLICABILITY, AND ADMINISTRATION

SECTION 1.01. INTENT

The City of Destin Design Manual (Design Manual, DDM, or this manual) is approved and adopted by Ordinance Number XX-XX-XX on MONTH DAY, YEAR, pursuant to the authority granted by the City of Destin's Comprehensive Plan and Land Development Code (LDC, this 'code') while also complementing the requirements of the LDC. The DDM intends to implement City policy as outlined in the City's Comprehensive Plan and provide specific details for site and Right-of-Way (ROW) development that will maintain the constantly changing Best Management Practices (BMPs) for the Engineering and Planning industries. The DDM will cover a broad range of site and ROW development to facilitate and promote the safe and smart development and redevelopment of the City of Destin. The DDM establishes design standards and specifications for, but not limited to, the development of sites, redevelopment projects, permits, ROW projects, and capital projects within the City of Destin as part of the City's responsibility to provide for the health, safety, and welfare of the public. When real property within the City of Destin is developed or redeveloped or any work is proposed within the City's ROW or easement, the site development elements and infrastructure facilities contained within said property, serving said property or activities within the City's ROW or easement shall comply with the requirements set forth in this manual and the City of Destin Land Development Code or other ordinances as applicable.

SECTION 1.02. APPLICABILITY

When real property within the City of Destin is developed or redeveloped or any work is proposed within the City's ROW or easement, the site development elements, whether private or public, and infrastructure facilities contained within said property, serving said property or activities within the City's ROW or easement, shall comply with the requirements set forth in this manual and the City of Destin Land Development Code or other ordinances as applicable.

SECTION 1.03 ADMINISTRATION

A. Maintenance of the Destin Design Manual

1. It is the responsibility of the Community Development Director to maintain the Destin Design Manual in accordance with the Comprehensive Plan, Land Development Code, or other relevant regulations.
2. The Community Development Director shall update the manual from time to time to keep the design minimums at an acceptable and required level to maintain efficiency not just of the City's infrastructure but for review of development proposals.

B. Amending or updating the Destin Design Manual

1. For the DDM to be effective and functional it will from time to time need to be updated based on new industry standards or on best management practices. Therefore, this design manual may be updated at the direction of City Council or the recommendation of the City Manager, Community Development Director, City Building Official, City Engineer, or Principal Planner.
 - a. Amending the Design Manual
 1. At the recommendation of any identified personnel in Paragraph A above a Staff Report shall be developed detailing the following:
 - (i) Current standard or detail
 - (ii) Proposed change
 - (iii) Need or justification for the proposed change.
 - (iv) Potential impact
 2. Staff shall present the proposed amendment to City Council for their consideration.

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- (i) The City Council may approve, approve with conditions, or deny the proposed amendment.
 - (ii) Staff or the City Council may recommend a review by any of the Advisory committees or boards for their consideration and recommendation.
 3. Any approved amendment shall be captured by majority vote of the City Council through an ordinance which must follow proper noticing and hearing requirements.
- C. The Destin Design Manual
 1. This manual contains details and specifications for specific design elements, building siting, or other elements that are pertinent to land development that may need to be updated more frequently than the Land Development Code itself. The specific design criteria are either written out or illustrated in this manual.
 2. Developers must use this manual when designing sites, buildings, structures, or other land development activity.
 3. The Design Manual construction details may be copied and used in the submitted construction documents if they are applicable to the developer's project.
 4. If there is no specific minimum standard (written or illustrated) or an applicant wishes to deviate from the designs or specifications within this manual, The City Manager may allow review and approval by the Community Development Director or require a Variance review and approval so long as it is allowed per Article 2.
 - a. Any proposed deviation shall follow industry best practices and provide the minimum specifications required within this manual or the LDC or provide a better alternative.

SECTION 2.00 STREET NAMING, ADDRESSING AND PROPERTY NUMBERING

SECTION 2.01 ESTABLISHMENT OF STREET NAMING SYSTEM

- A. All public and private rights-of-way in the City shall be named.
- B. As part of new developments, the developer shall submit suggested names for new public and private rights-of-ways to the City as part of the subdivision or planned unit development application.
- C. Unnamed rights-of-ways shall be named by the City Council, as shown on the approved subdivision or Planned Unit Development plan, after recommendation by the Okaloosa County Department of Public Safety.
- D. Future public or private right-of-way name changes shall be accomplished by a resolution of the City Council.
- E. Consideration shall be given to:
 1. Commemorating local distinguished citizens
 2. National heroes
 3. Local or native fish, animals, trees, shrubs, and flowers
 4. Based upon the subdivision or planned unit development application.
 5. Based upon a petition of the residents of such public or private right-of-way.
- F. To petition a street name change the following must be met:
 1. A minimum of seventy-five percent (75%) or more of residents on the street must agree to the name change by submitting a notarized document stating such.
 2. Only existing dead-end segments, cul-de-sacs, or other non-continuous segments are eligible for renaming.
 3. No street section or planned section that is part of a continuous street can be named differently than the rest of the continuous street.

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- G. Streets with the same or similar names but different street classifications shall not be allowed. For example, Marlin St & Marlin Way.

SECTION 2.02 ESTABLISHMENT OF ADDRESSING AND PROPERTY NUMBERING SYSTEM AND STANDARDS

- A. A uniform system of numbering buildings titled "Addressing and Property Numbering System" shall be established and maintained by the Geographic Information Systems (GIS) Division of the Community Development Department see **Section 2.03**.
- B. The official property numbering maps maintaining the "numbering system" are hereby adopted, incorporated herein by reference, and made a part of this article. Future amendments shall be accomplished administratively by the GIS Division and as amended by the City Manager or their designee.
- C. The GIS Division will be responsible for managing, coordinating, and maintaining the "Numbering System" and the official addressing map.

SECTION 2.03 ADDRESS AND PROPERTY NUMBERING SYSTEM

- A. Address numbering shall adhere to the following system when feasible.
 - 1. Addressing for properties, lots, or parcels:
 - a. Address numbering shall increase West to East on streets predominantly oriented in an East/West manner.
 - 1. Odd number shall be on the North side of East/West streets.
 - 2. Even numbers shall be on the South side of East/West streets.
 - b. Address numbering shall increase South to North on streets predominantly oriented in a North/South manner.
 - 1. Odd number shall be on the West side of North/South streets.
 - 2. Even numbers shall be on the East side of North/South streets.
 - c. Address numbering on circle or loop streets shall start at the South end of loop or circle streets and ascend in number in a counterclockwise direction.
 - d. Address numbering on circle or loop streets shall start on the West side of loop or circle streets and ascend in number in a clockwise direction.
 - 2. Addressing for buildings on the same lot.
 - a. Buildings on the same lot may be addressed with their own address if the system for properties can be achieved without creating a conflict.
 - b. Buildings on the same property may receive individual "building numbers" that adhere to the same principle of numbering method as properties.
 - 1. Building number systems may start with 1, 10, 100, or 1000.
 - 2. The building numbering is at the discretion of the Community Development Department.
 - 3. The first building number shall be the first building that is accessible from the main entrance of the property.
 - (i) If the building number system is not feasible then the next preferable numbering system will number the building in the most Southwest corner of the property and follow the same principle as addressing for properties.
- B. If the systems identified above cannot be followed, then the Community Development Department has the discretion to address any building or property in a manner that does not create a conflict with the existing system.
- C. All Address updates shall be reviewed by Okaloosa County GIS and Emergency Departments or others as identified.

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- D. The owner or occupant of any building to which a number has been assigned or updated will be notified in writing of the number assigned.
 - 1. Notice shall be sent to the property owner and the property using the available contact information from the Okaloosa County Property Appraiser Office.
 - 2. If an existing property, lot, parcel, building, or other structure is addressed with a number in conflict with the system established by this Section:
 - a. The property, lot, parcel, building, or other structure may be re-addressed to match the established system where feasible.
 - b. Notice shall be sent in writing to the owner, occupant, or other property owner or occupant affected, ten (10) and five (5) days prior to any official address update process is initiated.

SECTION 2.04 ADDRESSING AND PROPERTY NUMBERING REQUIREMENTS

- A. All principal buildings, habitable structures, docks, and piers in the City shall be assigned an address number and if applicable a building or unit number.
 - 1. Docks and piers shall be assigned the same number as the principal building, or, for vacant lots, the same number as would be assigned a principal building if existing.
- B. Assigned numbers shall be displayed whether mail is delivered to such locations.
 - 1. Accessory buildings/structures do not require an address number to be displayed on the building/structure.
- C. Address numbering displays shall conform to the National Fire Protection Agency standards as adopted and amended.

SECTION 3.00 BUILDING SITING AND DESIGN

SECTION 3.01 NON-RESIDENTIAL BUILDING SITING

- A. It is the intent of this section to encourage building siting that fosters pedestrian scale design which includes inviting elements that reduce, limit, or mitigate conflicts between vehicles and pedestrians.
- B. Buildings shall be located and designed to maximize the "functional open space" on the site. Such areas may be an integral part of building features such as entranceways and pedestrian amenities providing pedestrian access through buildings and throughout the site.
- C. Functional open space shall take the form of:
 - 1. View corridors
 - 2. Outdoor gardens
 - 3. Walking areas
 - 4. Or areas for the congregation of people for special events.
- D. All non-residential and mixed-use buildings shall be placed as close to all front property lines as possible per the applicable zoning district in Article 4 or buffers per Article 6 allow. (refer to Figure 3.01-1 Example of Building Siting).
 - 1. The following circumstances or situations may allow for relief from this design requirement as determined by the City Manager or designee. A Variance, per **Article 2**, may be required by the City Manager or designee for any requested relief due to potential impact.
 - a. Buildings along the Harbor or Choctawhatchee Bay
 - 1. Buildings with both street ROW and water frontage may orient their structures towards the water frontage to meet these requirements.
 - 2. Any additional structures proposed on-site shall utilize the street ROW frontage to meet these requirements.
 - b. Stormwater Facilities

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1. This requirement may be waived by the City Manager or designee if site topography or unique site constraints require stormwater facilities at or near the front property line(s).
- c. Building Placement
 1. If the other site elements such as minimum parking requirements, pedestrian accessways (sidewalks) or vehicular access cannot be achieved due to the placement of the building.
 - (i) The designer shall prove that no other building layout or configuration will work for the proposed use.
2. In no circumstance shall a building occupy the clear visibility triangle per **Section 6.00** of this Design Manual.

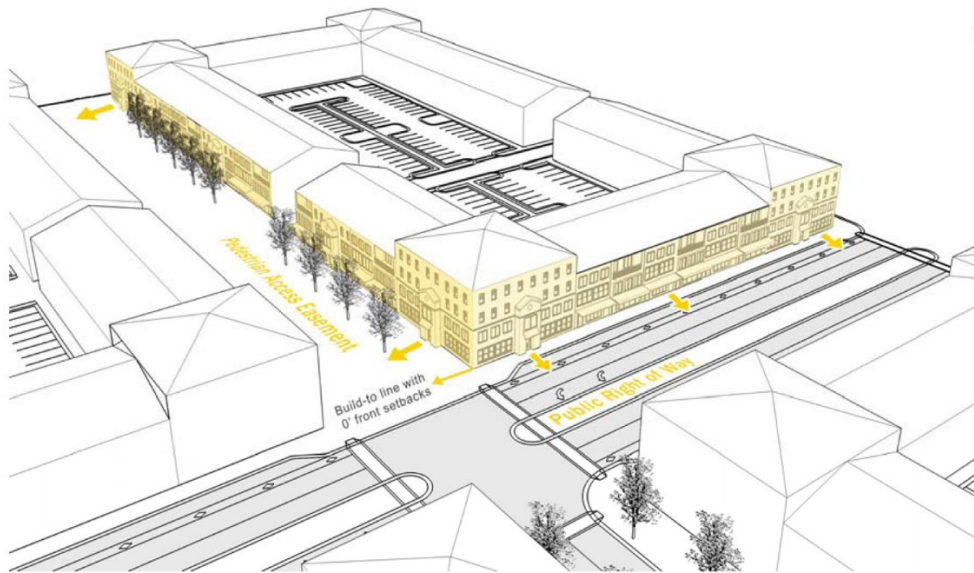


Figure 3.01-1 - Example of Building Siting

SECTION 3.02 NON-RESIDENTIAL, MIXED-USE, AND MULTI-FAMILY BUILDING FAÇADES

- A. All non-residential, mixed-use, or multi-family buildings' main facades shall be oriented towards the public street frontage.
- B. Façades shall be designed to reduce the mass/scale and uniform monolithic appearance of large unadorned walls, while providing visual interest that will be consistent with the community's identity and character using detail and scale and variations in rooflines and fenestration (i.e., character and interrelationships of facade design components including windows, dormers, doors, and roof design).
- C. Features such as windows, entryways, plane projections or recesses, arcades, colonnades, public art displays, or other such features that provide visual interest shall be used in the design and construction of facades.
 1. Building facades shall be visually varied thru architectural design standards to include but are not limited to a combination of more than one listed method listed below:
 - a. Color change
 - b. Texture change
 - c. Material module change

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- d. An expression of architectural or structural bays through a change in plane no less than 12 inches in width, such as an offset, reveal or projecting rib.
2. All elements shall repeat at intervals of no more than 30 feet, either horizontally or vertically.
- D. Facades greater than 100 feet in length, measured horizontally, shall incorporate wall plane projections or recesses having a depth of at least three percent (3%) of the length of the facade and extending at least 20 percent of the length of the facade (refer to Figure 3.02-2: Example of Building Mass Facade and Elevations).
- E. Alternatively, for facades greater than 150 feet in length, measured horizontally, the three percent offset can be achieved by a series of smaller offsets that extend a minimum of 50 percent of the building facade cumulatively. Balcony projections from the building facade cannot represent more than half of the cumulative offset minimum.
1. When calculating wall plane projections and recesses results in a fraction, they must be rounded up.
2. Wall plane projects must run vertically until they reach the top of the building.
3. No uninterrupted length of any facade shall exceed 100 horizontal feet.
- F. The main façade of all structures shall face the street.
1. In the case of a corner lot, the most trafficked or higher classified street shall be utilized to meet this requirement.

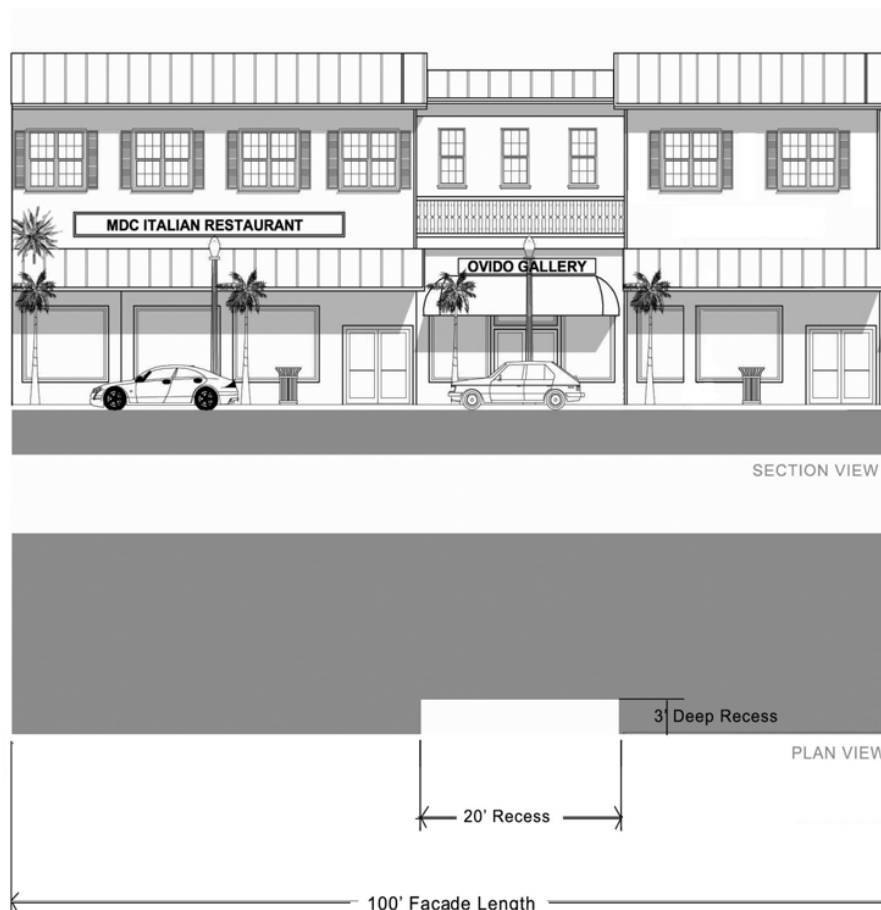


Figure 3.04-1 – Example of Building Mass Facade and Elevations

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G. Transparency:

1. Window and door openings shall provide transparency into the ground floor of nonresidential development (refer to Figure 3.04-3: Transparency).
2. For any facade that faces a right-of-way, a minimum of fifty percent (50%) of the ground level facade shall be transparent (including windows and door openings) for any building containing nonresidential uses on the ground level.
3. This requirement shall apply to all building facades facing the right-of-way.
4. Nothing in here shall be construed to prohibit a building owner from adding tint to the windows to help with glare or interior environmental conditions.
5. Window reflection requirements

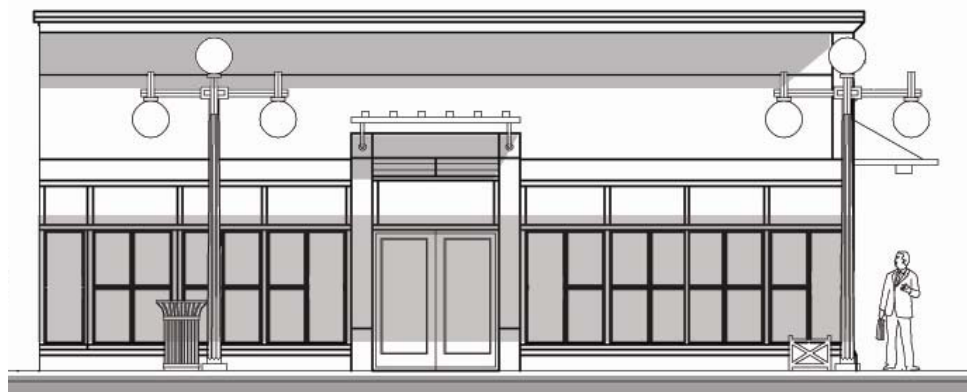


Figure 3.04-2 – Transparency.

SECTION 3.03 NON-RESIDENTIAL, MIXED-USE, AND MULTI-FAMILY FACILITY SUPPORT ELEMENTS

- A. In no circumstance may any of the following ancillary or facility support elements face, front, or be positioned between the building and a street.
 1. Drive-thru facilities, such as service window, ordering locations, menu boards.
 - a. Except for the ingress or egress portion of the drive-thru before or after service is rendered.
 2. Loading docks
 3. Mechanical or utility equipment/facilities
 - a. Mechanical or utility elements shall be screened from public view and placed either:
 1. On the roof
 2. In the rear of the structure or property
 3. On the side of the structure or property
 - b. Air conditioning or other equipment that requires air flow may utilize a lattice or other screening method that provides a minimum of 50% screening.
 4. Service entrances
 5. Waste Facilities

SECTION 3.03 ROOFLINE AND ROOFSCAPE DESIGN

- A. The use of varied rooflines, through the utilization of parapets and/or sloped roofs, is required.
- B. The roofline of a building must vary when:
 1. Any building facade is seventy-five feet (75') or more in width, with a building height, or portion thereof, of forty feet (40') or more:
 - a. Twenty-five percent (25%) of the building's roofline, by a minimum of ten feet (10').

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1. Such required minimum height variation must be divided into not less than two offsets or vertical eave separations, each of which must represent not less than twenty-five percent (25%) of the minimum required roof offset.
- C. Fully pitched roofs are required to cover not less than sixty percent (60%) of the roof surface on all buildings.
 1. Within the remaining forty percent (40%) of the roof surface that is not under fully pitched roofs, single pitched or double pitched mansard style roofs or parapet walls are required.
 2. A minimum pitch of 4:12 and a maximum pitch of 12:12 are required for the fully pitched roof above the cornice line.
- D. All mechanical equipment located on the roof shall be shielded from offsite view by:
 1. Single pitched or double pitched mansard style roofs
 - a. Single pitched or double pitched mansard roofs and parapet walls used for such screening must have a minimum height sufficient to conceal the mechanical equipment in question.
 - b. Mansard style roofs and parapet walls shall not count towards the 60 percent coverage for fully pitched roofs.
 2. Parapet walls
 3. Screening devices of a design, color and material that match or complement the design of the balance of the roof or other building components.
 4. Non-habitable architectural roof embellishments (e.g., spires, watch towers, crows' nests, cupolas, chimneys, etc...), dormers, or appurtenant structural systems (e.g., machinery rooms, elevator shafts, stairwells, etc.) are permitted.
 5. Compliance with the specific pitched roof design requirements of this subsection is not required in the following cases:
 - a. Where a parking garage occupies the top story of a building, or a portion of the top story of a building.
 - b. Where a rooftop swimming pool amenity is utilized in lieu of a ground level pool amenity.
 - c. All rooftop mechanical equipment shall still provide screening as required in this Design Manual.
 - d. If the parking garage or the pool and related amenities do not utilize the entire roof top level, the remaining areas not utilized shall utilize a pitched roof design.

SECTION 4.00 SITE DESIGN AND PROGRAMMING

SECTION 4.01 NON-RESIDENTIAL PARKING AREAS AND LOTS

- A. Parking stalls may not be located in front of any front building line and no closer than twenty feet (20') to the property line.
 1. However, if a front building line is placed forty feet (40') or more from the property line, then parking stalls may be placed no closer than forty feet (40') to the property line.
- B. The area between the public ROW and all parking facilities shall be landscaped with:
 1. Trees meeting the Landscaping requirements per Article 6.
 2. A continuous row of shrubs fronting the right-of-way shall be planted, where trees are not planted, meeting the requirements of Article 6, and shall not exceed two feet (2') in height.
- C. In no circumstance shall any landscaping element impede the vision triangle.
- D. The intent of this section is to prohibit parking between any non-residential building and the Right-of-Way.
 1. Exemption:
 - a. Lots that are generally referred to as 'Flag' lots with other properties that are between the developable space of the flag lot and the right-of-way are exempt from this requirement.

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SECTION 4.02 VEHICLE PARKING SPACE DIMENSIONS AND LAYOUT

- A. Parking Stalls
 - 90° stall - [P-03 90 DEGREE & ADA PARKING](#)
 - 60° stall - [P-05 60 DEGREE ANGLED PARKING](#)
 - 45° stall - [P-06 45 DEGREE ANGLED PARKING](#)
 - Parallel stall - [P-07 PARALLEL PARKING](#)
 - Low Speed Vehicle and Hybrid parking stall - [P-04 LSV & HYBRID PARKING](#)
- B. ADA
 - ADA Parking - [P-03 90 DEGREE & ADA PARKING](#)
 - ADA Signage - [P-02 ADA SIGNAGE](#)
- C. Miscellaneous Parking Elements
 - Wheel Stop - [P-01 WHEEL STOP](#)
 - Parking/Landscape Island - [L-01 LANDSCAPE ISLANDS](#)

SECTION 4.02 ACCESS AND SIDEWALKS

- A. Accessways
 - Residential (Single Family & Duplex) - [T-01 RESIDENTIAL DRIVEWAY & SIDEWALK](#)
 - Non-Residential (including Multi-family) - [T-02 COMMERCIAL & MULTI-FAMILY DRIVEWAY & SIDEWALK](#)
 - Driveway Separation - [T-12 DRIVEWAY SEPARATION](#)
 - Public Safety Access - [T-13 FIRE LANE WIDTHS](#)

SECTION 4.03 SOLID WASTE AND RECYCLING FACILITIES

- A. Screening: All solid waste facilities shall be screen by any means to 100% opacity with similar or complementary architectural style of the primary structure on site.
- B. Specific Facility Designs
 - Single Dumpster - [W-01 SINGLE DUMPSTER ENCLOSURE](#)
 - Double Dumpster - [W-02 DOUBLE DUMPSTER ENCLOSURE](#)
 - Compactor Enclosure - [W-03 COMPACTOR ENCLOSURE](#)
 - Compactor Slab - [W-04 COMPACTOR SLAB GRADE DETAIL](#)
 - Dumpster Wall & Post - [W-05 DUMPSTER WALL & POST](#)

SECTION 4.04 MISCELLANEOUS DESIGN DETAILS

- A. Bollards - [G-07 BOLLARD POST](#)
- B. City Project Sign - [G-06 CITY PROJECT SIGN](#)
- C. Concrete Pad - [G-08 CONCRETE PAD](#)

5.00 ENGINEERING SPECIFIC DESIGN DETAILS

SECTION 5.01 STREETS, ROADS, AND ROW

- A. Clear Zone, Sight or Vision Triangle
 - Intersection Site Triangle - [T-15 CLEAR SITE TRIANGLE](#)
 - Building Sight Triangle - [T-14 BUILDING CLEAR VISIBILITY TRIANGLE](#)
- B. Sidewalks - [T-06 SIDEWALK](#)
- C. Speed Humps
 - Speed Humps - [T-07 SPEED HUMP](#)
 - Speed Hump Stripping - [T-08 SPEED HUMP STRIPING](#)
- D. Street Designs:
 - Residential - [T-03 ROW-LOCAL](#)

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- Collector - [T-04 ROW-COLLECTOR](#)
- Collector with Parallel Parking - [T-05 ROW-LOCAL-COMMERCIAL WITH PARKING](#)
- E. Street Signs - [T-11 STREET SIGNS](#)
- F. Turn Arounds
 - Cul-de-sac – [T-09 CUL-DE-SAC](#)
 - Hammer head – [T-10 HAMMERHEAD TURNAROUND](#)
- G. Valve Design - [U-01 VALVE PAD](#)
- H. Removal and Replacement of Asphalt - [D-04 REMOVAL AND REPLACEMENT OF ASPHALT](#)

SECTION 5.02 DRAINAGE

- A. Culverts - [D-05 RIPRAP CULVERT](#)
- B. Perforated Pipe - [D-03 PERFORATED PIPE UNDERDRAIN INSTALLATION DETAIL](#)
- C. Swales - [D-02 RIGHT-OF-WAY SWALE DETAIL](#)
- D. Private Retention - [D-06 RETENTION & SWALE DETAIL](#)

SECTION 5.03 CONSTRUCTION ACTIVITY

- A. Horizontal Directional Drilling - [U-02 JACK & BORE](#)
- B. Directional Drilling - [U-03 DIRECTIONAL DRILL](#)
- C. Silt Fencing - [E-01 SILT FENCE](#)
- D. Temporary Construction Entrance - [E-02 TEMPORARY CONSTRUCTION ENTRANCE](#)

SECTION 6.00 LANDSCAPING

SECTION 6.01 TREES AND SHRUBS

- A. Trees - [L-02 LANDSCAPE TREES](#)
- B. Shrubs - [L-03 LANDSCAPE SHRUBS](#)
- C. Root Barriers - [L-04 LANDSCAPE ROOT BARRIER](#)

SECTION 6.02 ARTIFICIAL TURF

- A. Artificial Turf - [D-01 ARTIFICIAL TURF](#)

SECTION 7.00 GENERAL NOTES FOR CONSTRUCTION DRAWINGS

SECTION 7.01 GENERAL NOTES

- A. The following sheets with General notes shall be provided on all construction plans.

[G-01 GENERAL NOTES](#)

[G-02 GENERAL NOTES](#)

[G-03 GENERAL NOTES](#)

[G-04 GENERAL NOTES](#)

[G-05 GENERAL NOTES](#)

SECTION 8.00 MEASUREMENTS

- A. Lots
 - 1. How to measure Lot Width
 - a. Lot width is measured by measuring the distance across the property from side property line to side property line at the required front yard setback.
 - b. In case of an unusually shaped lot, three measurements will be taken.
 - i. The first as described in Paragraph a. above.
 - ii. The second in the same manner as paragraph a. above but at the required rear property line
 - iii. Third at the widest point of the lot using the identified front lot line as the angle of measurement.

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B. Building Height

1. How to measure Building heights

- a. One of the following establishes the beginning point (ground level) for measurement whichever is higher.
 - i. Building height shall be measured from:
 - (a) The highest point of the crown of the road.
 - (i) The highest point of the crown of the road shall be established by topographic survey that has been signed and sealed by a Florida Registered surveyor.
 - (b) Average grade of the subject property if it is not in an area that has a Federal Emergency Management Agency (FEMA) Minimum Based Flood Elevation.
 - (i) Within the "Harbor Waterfront" area, as defined in the Comprehensive Plan, building height shall be measured via the Average Grade Method.
 - (c) FEMA Minimum Base Flood Elevation
- b. Building height is measured to:
 - i. The cornice line of the building as defined in the Comprehensive Plan
 - (a) Non-habitable architectural roof embellishments (e.g., spires, watch towers, crows' nests, cupolas, chimneys, and similar architectural embellishments), or appurtenant structural systems (e.g., machinery rooms, elevator shafts, stairwells, and similar ancillary facilities) are allowed up to a maximum of:
 - (i) Six feet (6') above the allowable maximum height of roof structure for Single-family/Duplex uses.
 - (ii) Ten feet (10') above the allowable maximum height of roof structure for multi-family and all non-residential uses.

C. Fence, Wall, Gate Height

1. All measurements for height shall begin where the grade of the property meets the structure of the fence, wall, or gate.
2. If there is a grade differential between two adjacent properties, then the measurement shall be measured where the grade meets the fence, wall, or gate on the higher property.

D. Signs - See Article 8

E. FAR

1. Divide the total gross square footage of a building or structure by the total square footage of the lot or property the building or structure is placed.

Example a 10,000 sq.ft. building on a half (.5) acre lot.

$$10,000 / 21,780 = \text{a FAR of } .49$$

F. Density

1. Divide the total number of dwelling units (DU) by the acreage (ac) of the lot or property where the dwelling(s) is located.

Example of two (2) DU on a half (.5) ac lot.

$$2 / .5 = \text{a density of } 4 \text{ du/ac}$$

G. Open Space

1. Identify the total square footage of what is open space per the definition in the LDC Glossary
2. Identify the total square footage of the lot/parcel/property.

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3. Divide the total square footage of the open space by the total square footage of the lot/parcel/property and multiply by 100.

Example of a 1 ac. Lot with 15,000 sq.ft. of open space

$$\begin{aligned}\text{Open space} &= 15,000 \text{ sq.ft.} \\ \text{Total lot area} &= 1 \text{ ac. (43,560 sq.ft.)} \\ 15,000/43,560 &= .344 \\ .344 \times 100 &= 34.4\%\end{aligned}$$

H. Stormwater

1. To determine how much volume is required, multiply the total lot sq.ft. by the quotient of the required number of inches to retain over the site by twelve (12), equals the required volume in cubic feet (cf) of the stormwater facility.

Example for a single-family lot with 55% impervious coverage

$$\begin{aligned}\text{Lot size} &= 10,000 \text{ sq.ft.} \\ \text{Lot coverage} &= 5,500 \text{ sq.ft.*} \\ 10,000 \times (1.6/12) &= 1,300 \text{ cf}\end{aligned}$$

*A single-family site with 55% of impervious coverage requires the system to hold 1.6" over the entire site per **Section 6.04.07** of Article 6.

SECTION 9.00 DEVELOPMENT CHECKLISTS

SECTION 9.01 GENERAL REQUIRED DOCUMENTS FOR ALL APPLICATIONS

The following application documents shall accompany all applications to the City of Destin.

- A. Proof of ownership, in the form of a Warranty Deed, Title Opinion, or Court Order establishing lawful ownership.
 1. The City shall not accept any form of a deed other than a Warranty Deed.
- B. A completed application via the City's online Portal
- C. Agent Affidavit (if the representative is someone other than the owner)
- D. Narrative
 1. A detailed description of the proposed project that details the specific nature, intensity, density, layout, purpose, impacts and other relevant information about the development.
 2. A description of how the plan mitigates or avoids potential conflicts between land uses including a compatibility review (if required) of the design criteria of **Sections 3 and 4** of this manual.
 3. Any history of the property that will provide insights to the existing development including but not limited to previous:
 - a. Agreements
 - b. Conditional Uses
 - c. Development Orders
 - d. Subdivisions
 - e. Variances or Special Exceptions

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- E. A document identifying and justifying the omission of any identified required document or element of a document listed here or in Article 2.
- F. Any other document identified in Article 2 or deemed necessary by the City Manager, or their designee, for the proper review of any application.

SECTION 9.02 REQUIRED ELEMENTS OF A SITE PLAN FOR APPLICATION SUBMITTAL

The following list of items shall be included on all site plans as applicable for any application submittal that requires a site plan. Further, all site plans shall be scaled and dimensioned properly.

- North Arrow
- Scale that is industry recognized, i.e., 1" = 10' or 20' etc., and not "custom."
- If site tiles are necessary, a key map must be included on each sheet.
- Construction phase lines and/or a phasing table.
- Building plans showing the location, dimensions, gross floor area, floor plan for multi-family residential structures including hotels and motels, and proposed use of buildings. For the purposes of this criteria, hotel and motel dwelling units are considered residential floor space.
- Building setback distances from property lines, abutting the right-of-way and all buildings and structures.
- The location, dimensions, type, composition and intended use of all ancillary structures.
- The location and intensity or density of the proposed development.
- Proposed open space areas on the development site and types of activities proposed to be permitted on such open space areas.
- Lands to be dedicated or transferred to a public or private entity and the purposes for which the lands will be held and used.
 - A Site Summary Table of existing vs. proposed (including percentage) shall be provided that includes but may not be limited to the following:
 - Building footprint
 - Lake/Pond
 - Impervious area
 - Open Space
 - Wetland/Upland
- The location and specifications of any proposed refuse dumpsters or containers.
- Cross sections and specifications of all proposed pavement (required if site tiles are provided).
- All interior excluded parcels shall be indicated and labeled accordingly.
- All contiguous property shall be identified by development title, plat book and page, or if the land is unplatted it shall be so designated.
- Density/Intensity
- The total number of residential units per acre.
- Total number and type of residential units categorized according to the number of bedrooms.
- Total Floor Area Ratio of all proposed uses
- Signage and Marking Plan (to include parking layout).
- Ground sign locations with setback distances.
- Circulation plan (fire lanes & fire truck turning movements).
- Points of ingress and egress and any planned public or private roads, rights-of-way, pedestrian ways, bicycle paths or transportation facilities.

SECTION 9.03 REQUIRED DOCUMENTS FOR LAND DEVELOPMENT APPLICATIONS

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The Following items, documents, and elements shall be included in all Development Order and Planned Unit Development applications. If an Item in this list is not applicable to a proposed project the applicant, owner, or authorized agent shall submit in writing with the application each document that is not included and justification as to why.

- The City manager or Designee may require the applicant, owner, or authorized agent to submit any required document claimed as "not applicable" in any application if deemed necessary for proper review of the application.
- All documents shall be digital and uploaded to the customer service portal for application submittal. All site plans and design drawings shall be drawn to scale with all dimensions identified.

A. Plan Set

1. Cover Sheet
 - Utility Service Providers
 - Index of Plans
 - Project Title
 - Project Location Map
 - Developer/Owner Contact Information
 - Parcel ID Number(s)
 - Parcel(s)/Project Size(s)
 - Zoning(s)
 - Legal Description(s)
 - Sunshine 811 Contact Information
 - Professional Engineers Signature Block
2. General Notes and Abbreviations (includes but may not be limited to)
 - Overall general construction notes
 - NAVD 1988 Datum
 - Signing and Pavement Marking
 - Paving, Grading, & Drainage
 - Utility
 - Accessibility Design Guidelines
 - Erosion Control Notes (may be on Erosion and Sediment Control Plan)
 - Dust Control Requirements (may be on Erosion and Sediment Control Plan)
 - Vibration Impact Requirements (may be on Erosion and Sediment Control Plan)
 - Construction Screening Criteria
 - Florida Department of Transportation Note (Latest Edition) (if applicable)
3. (Current) Aerial Photograph (if the site is greater than 2.5 acres)
4. Existing Conditions Plan
 - The location of existing property or right-of-way lines, both for private and public property, streets, buildings, transmission lines, sewers, sidewalks, airports, bridges, culverts, drainpipes, water mains, fire hydrants, and any other public or private easements (as applicable) within the project and extending 100 feet beyond the proposed development boundary.
 - Any land rendered unusable for development purposes by deed restrictions or other legally enforceable covenants or limitations.
 - Existing land use, the zoning district of the subject site, and the land use category under the comprehensive plan.

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- The location of environmentally sensitive lands designated pursuant to **Article 7** of the Land Development Code, if any.
 - A map showing the locations of any soil borings or percolation tests may be required by the LDC.
 - A topographic map (Topography (min. 50-foot spacing) and Contours (One-foot)) of the site clearly showing the location, identification, and elevation of benchmarks, including at least one benchmark for each major water control structure.
 - All interior excluded parcels shall be shown and labeled accordingly.
 - All contiguous property shall be identified by development title, plat book and page, or if the land is unplatted it shall be so designated.
 - All watercourses, water bodies, floodplains, wetlands, important natural features, wildlife areas, soil types and vegetative cover on or adjacent to the site.
 - Location of on-site potable water wells, if any, and potable water wells within 200 feet of any property line, if any.
5. Erosion and Sediment Control Plan (see **Article 6**)
- Temporary Construction Entrance
 - Perimeter erosion control devices
 - Double row against wetlands and waterbodies
 - Turbidity Barrier (if necessary)
 - Inlet inserts (if necessary)
 - Notes and details as necessary
6. Demolition Plan
7. Site Plan as detailed in Section 9.02 above.
8. (Master) Utility Plan
- Proposed location and sizing of potable water and wastewater facilities to serve the proposed development.
 - Plan and Profiles (if applicable)
9. (Master) Paving, Grading, & Drainage Plan
- Proposed drainage structure and piping (relevant elevation/invert information)
 - Proposed grades (as necessary) and/or contour lines (one-foot spacing)
 - Drainage flow arrows
 - Typical cross-section labels
 - 100-year flood information
 - FEMA floodplain information
 - Paving notes or details relevant to the project
 - If in a White Sand Zone, a note on the plan stating that compliance with the White Sand Zone regulations will be followed at time of permitting.
10. Typical Sections & Details
11. Landscape Plan
- A map of existing vegetative cover including the location and identity, by common name, of all protected trees.
 - Information sufficient to determine compliance with the landscape and tree protection regulations of the LDC.
 - Location and identification of specific and common name of all proposed species for proposed landscaping elements
 - Irrigation layout

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- The location and list of all landscaping materials
 - Open space calculations
 - Show the proposed/existing drainage and utility lines greyed back.
12. Resource Protection
- The manner in which historic and archeological sites on or near the site will be protected.
 - The manner in which environmentally sensitive or protected sites on or near the site will be protected.
 - The manner in which environmentally sensitive or protected species on or near the site will be protected.
- B. Architectural Renderings
- Architectural elevations of all building elevations sufficient to convey the basic architectural intent of the proposed improvements.
 - Minimum floor elevations of buildings within the 100-year floodplain or higher, if any.
 - Minimum floor elevations of buildings within any FEMA Flood Zone.
- C. Covenants, Conditions, Restrictions
- Restrictions of the type and use of existing or proposed improvements, waterways, open spaces, buffer strips and the like shall require the establishment of restrictive covenants and such covenants shall be submitted with the final development plan for recordation.
 - If the development includes private streets, an ownership and maintenance association document shall be submitted with the final development plan and the dedication contained on the development plan shall clearly show the infrastructure and maintenance responsibility to the association without recourse to the city of any other public agency.
- D. Phasing Plan
- If development is to be phased for any reason, a master plan for the entire project shall be submitted with the development plan for the first phase or phases for which approval is sought. In addition, a schedule showing approximate development phasing, including the sequence for each phase, shall be included.
- E. Subdivision Plans
- The proposed number, minimum area, and location of lots, if the development involves a subdivision of land.
 - All lots shall be numbered either by progressive numbers or in blocks progressively numbered or lettered except that blocks in numbered editions bearing the same name may be numbered consecutively throughout several editions.
 - All interior excluded parcels shall be shown and labeled accordingly.
 - All contiguous property shall be identified by development title, plat book and page, or if the land is unplatted it shall be so designated.
- F. Flood Zone Documents
- A completed Elevation Certificate Form shall be submitted with any application where required. Required only if property is in "A" or "V" zones on Federal Emergency Management Agency (FEMA) maps of the City of Destin.
 - The 100-year flood elevation boundaries, the CCCL, CHHA, and shoreline protection zone, where appropriate.
- G. Parking Agreement
1. Shared Parking
 2. Off-Site parking
 3. Tandem Parking

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4. Valet Parking

SECTION 9.04 REQUIRED DOCUMENTS FOR LAND DIVISION APPLICATIONS

A. Subdivision Plans

- The proposed number, minimum area, and location of lots, if the development involves a subdivision of land.
- All lots shall be numbered either by progressive numbers or in blocks progressively numbered or lettered except that blocks in numbered editions bearing the same name may be numbered consecutively throughout several editions.
- All interior excluded parcels shall be shown and labeled accordingly.
- All contiguous property shall be identified by development title, plat book and page, or if the land is unplatted it shall be so designated.

B. Existing Conditions Plan

- The location of existing property or right-of-way lines, both for private and public property, streets, buildings, transmission lines, sewers, sidewalks, airports, bridges, culverts, drainpipes, water mains, fire hydrants, and any other public or private easements (as applicable) within the project and extending 100 feet beyond the proposed development boundary.
- Any land rendered unusable for development purposes by deed restrictions or other legally enforceable covenants or limitations.
- Existing land use, the zoning district of the subject site, and the land use category under the comprehensive plan.
- The location of environmentally sensitive lands designated pursuant to Article 7 of the LDC, if any.
- A map showing the locations of any soil borings or percolation tests may be required by the LDC.
- A topographic map (Topography (min. 50-foot spacing) and Contours (One-foot)) of the site clearly showing the location, identification, and elevation of benchmarks, including at least one benchmark for each major water control structure.
- All interior excluded parcels shall be shown and labeled accordingly.
- All contiguous property shall be identified by development title, plat book and page, or if the land is unplatted it shall be so designated.
- All watercourses, water bodies, floodplains, wetlands, important natural features, wildlife areas, soil types and vegetative cover on or adjacent to the site.
- Location of on-site potable water wells, if any, and potable water wells within 200 feet of any property line, if any.

C. Phasing Plan

- If development is to be phased for any reason, a master plan for the entire project shall be submitted with the development plan for the first phase or phases for which approval is sought. In addition, a schedule showing approximate development phasing, including the sequence for each phase, shall be included.

D. Covenants, Conditions, Restrictions

- Restrictions about the type and use of existing or proposed improvements, waterways, open spaces, buffer strips and the like shall require the establishment of restrictive covenants and such covenants shall be submitted with the final development plan for recordation.

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- If the development includes private streets, an ownership and maintenance association document shall be submitted with the final development plan and the dedication contained on the development plan shall clearly show the infrastructure and maintenance responsibility to the association without recourse to the city of any other public agency.
- E. (Master) Paving, Grading, & Drainage Plan
 - Proposed drainage structure and piping (relevant elevation/invert information)
 - Proposed grades (as necessary) and/or contour lines (one-foot spacing)
 - Drainage flow arrows
 - Typical cross-section labels
 - 100-year flood information
 - FEMA floodplain information
 - Paving notes or details relevant to the project
 - If in a White Sand Zone, a note on the plan stating that compliance with the White Sand Zone regulations will be followed at time of permitting.
- F. Any other document required by the Land Development Code, Destin Design Manual, or Comprehensive plan as identified by the City Manager or their designee.

SECTION 9.05 REQUIRED DOCUMENTS FOR A CHANGE OF USE APPLICATION

- A. Existing Conditions Plan
 - The location of existing property or right-of-way lines, both for private and public property, streets, buildings, transmission lines, sewers, sidewalks, airports, bridges, culverts, drainpipes, water mains, fire hydrants, and any other public or private easements (as applicable) within the project and extending 100 feet beyond the proposed development boundary.
 - Any land rendered unusable for development purposes by deed restrictions or other legally enforceable covenants or limitations.
 - Existing land use, the zoning district of the subject site, and the land use category under the comprehensive plan.
 - The location of environmentally sensitive lands designated pursuant to **Article 7** of the LDC, if any.
 - A map showing the locations of any soil borings or percolation tests may be required by the LDC.
 - A topographic map (Topography (min. 50-foot spacing) and Contours (One-foot)) of the site clearly showing the location, identification, and elevation of benchmarks, including at least one benchmark for each major water control structure.
 - All interior excluded parcels shall be shown and labeled accordingly.
 - All contiguous property shall be identified by development title, plat book and page, or if the land is unplatted it shall be so designated.
 - All watercourses, water bodies, floodplains, wetlands, important natural features, wildlife areas, soil types and vegetative cover on or adjacent to the site.
 - Location of on-site potable water wells, if any, and potable water wells within 200 feet of any property line, if any.
- B. Site Plan as detailed in Section 9.02 above.
- C. Demo Plan
- D. Parking Agreement
 1. Shared Parking
 2. Off-Site parking

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3. Tandem Parking
4. Valet Parking

SECTION 9.06 REQUIRED DOCUMENTS FOR COMPREHENSIVE PLAN AMENDMENT APPLICATIONS

- A. Narrative of request that includes the following elements:
 1. A general description of the proposed amendment, explaining why it is necessary and/or appropriate.
 2. Comprehensive plan Section identified for amendment, include the number and name of the specific goals, objectives, or policies, and show the proposed changes in strike through and underline. This may be submitted as a separate attached document.
 3. Orderly Development and Land Use Compatibility.
 - a. Whether, and the extent to which, the proposal would maintain a compatible land use pattern, a smooth transition in the land use, considering the type and location of uses involved, the density, and intensity. Approval of a Comprehensive Plan amendment must be supported by evidence that the change will be consistent with Comprehensive Plan land use policies. Please explain the impact of the proposed amendment upon the surrounding neighborhoods and land uses and list any supporting policies.
 4. Adequate Public Facilities.
 - a. Approval of a Comprehensive Plan amendment must be supported by evidence that the amendment will not result in public facilities and services exceeding the capacity for such services and facilities existing or programmed, including transportation, utilities, drainage, recreation, education, emergency services and similar necessary facilities and services. Please explain the impact upon the ability of the City to provide adequate public facilities and maintain the existing level of service for public facilities as identified in the comprehensive plan if the proposed amendment is granted.
 5. Natural Environment.
 - a. Whether, and the extent to which, the proposal would result in significantly adverse impacts on the natural environment. An amendment of the Future Land Use Map shall not violate policies within the Comprehensive Plan that protect the natural environment. Please explain the impact of the proposed amendment upon the natural environment, if any.
 6. Economic Effects.
 - a. Whether, and the extent to which, the proposal would adversely impact private property rights, the general health, safety, and welfare and adversely impact the financial resources of the City. Please describe any potential adverse impacts on private property rights, the general health, safety, and welfare and the financial resources of the City.
 7. Public Interest Enabling Act.
 - a. Whether the proposal would conflict with the public interest, and whether it is in harmony with the purpose and intent of the Comprehensive Plan and its enabling legislation. Amendments shall be consistent with the Comprehensive Plan and enabling legislation. Please explain any potential conflicts with the public interest. Also explain how the proposed amendment is in harmony with the purpose and intent of the Comprehensive Plan and its enabling legislation.
 8. Special Privileges.
 - a. Whether proposed amendment would constitute a grant of special privilege to an individual owner as contrasted with the public welfare. Please explain whether the

City of Destin, FL - Land Development Code

proposed amendment would constitute a grant of special privilege to an individual owner as contrasted with the public welfare.

9. Other Matters.
 - a. Other matters related to the Comprehensive Plan and conditions since adoption of the plan, which the City may deem appropriate in considering the amendment. Please identify and explain any other matters which the City may deem appropriate in considering the amendment.
- B. History of the property if not addressed in the General Narrative required in Section 9.01 of this manual.
- C. Property information if a Future Land Use Map (FLUM) amendment
 1. Address and or Parcel ID
 2. Size by acreage and square footage
- D. Any maps and or surveys related to a FLUM amendment.

SECTION 9.07 REQUIRED DOCUMENT FOR LAND DEVELOPMENT CODE OR ZONING MAP AMENDMENT APPLICATIONS

- A. Narrative of request that includes the following elements:
 1. A general description of the proposed amendment, explaining why it is necessary and/or appropriate.
 2. Explain the basis for your request.
 - a. Give solid and convincing reason(s) as to why the current LDC language or zoning district is not appropriate, and why the proposed amendment is more suitable.
 - b. Indicate the specific proposed use(s) expected to be developed if the proposed zoning district change is granted by City Council.
 3. The draft language of the proposed amendment to include a document that identifies:
 - a. The language proposed to be removed with "~~striketrough~~" formatting.
 - b. The language proposed to be added with "underline" formatting.
 4. History of the property if not addressed in the General Narrative required in **Section 9.01** of this manual.
 5. Comprehensive Plan compliance.
 - a. Explain how this proposed amendment is consistent with the Comprehensive Plan and or the underlying Future Land Use Map designation.
 6. If requesting a Zoning Map amendment, the following items are required to be addressed in the narrative.
 - a. Explain how the proposed Official Zoning Map designation supports and is consistent with the purpose and intent of the City of Destin Zoning Districts as described in **Article 4** of the appropriate district in the LDC.
 - b. Please identify any allowable uses as listed **Article 4** of the appropriate district in the LDC for the proposed zoning district that should not be allowed in the specific location proposed for the zoning map amendment (will require a Text Amendment to the Land Development Code).
 - c. Please identify any allowable uses not listed in **Article 4** of the appropriate district in the LDC for the proposed zoning district that should be allowed in the specific location proposed for the zoning map amendment (will require a Text Amendment to the Land Development Code).

City of Destin, FL - Land Development Code

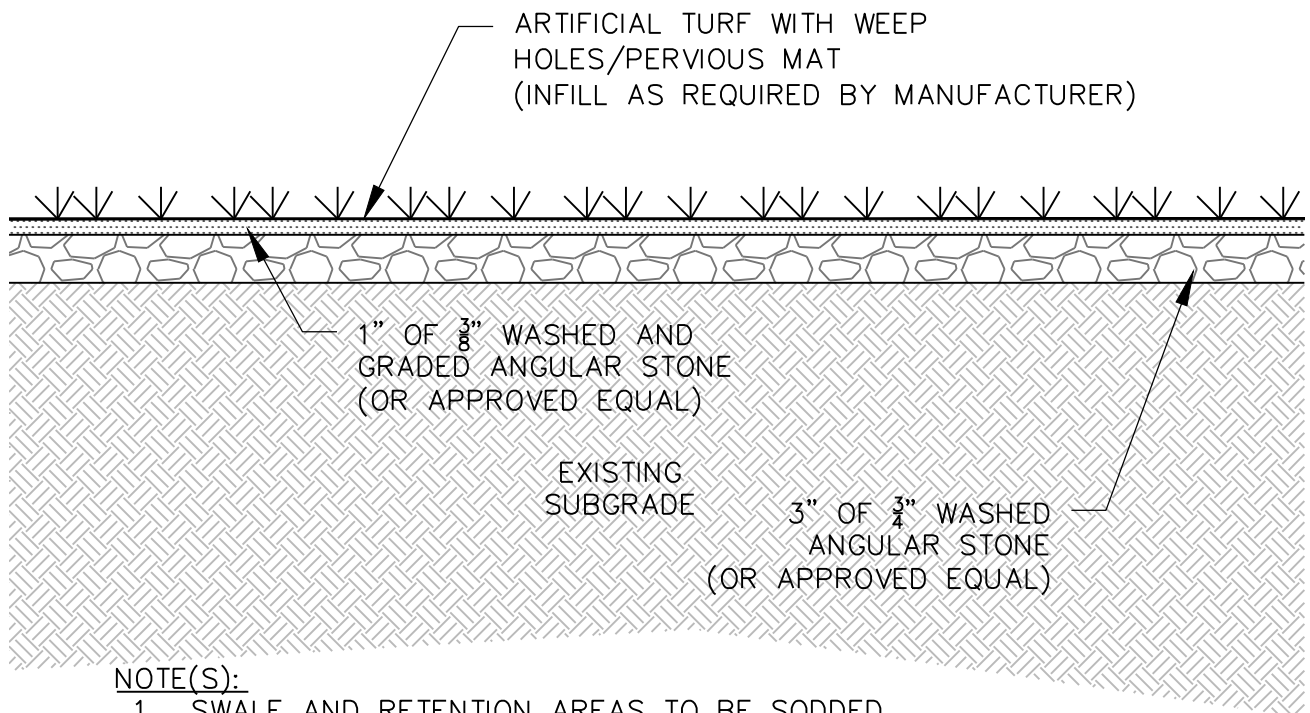
- d. Please explain the fiscal impact of the proposed amendment upon the finances of the City, if any.
 - e. Please explain the impact of the proposed amendment upon all public facilities, if any.
 - f. Please explain the impact of the proposed amendment upon the environment, natural and/or historical resources, if any.
 - g. Please explain the degree of consistency of the proposed amendment with the Comprehensive Plan for the City. (Applicant may need to refer to the Comprehensive Plan.)
 - h. Please explain the impact upon the ability of the City to provide adequate public facilities and maintain the existing level of service for public facilities as identified in the comprehensive plan if the proposed amendment is granted.
 - i. Please explain the compatibility of the proposed amendment upon the surrounding neighborhoods and land uses.
- B. Property information if proposing a Zoning Map amendment.
 - 1. Address and or Parcel ID
 - 2. Size by acreage and square footage
 - C. Any maps and or surveys related to a Zoning Map amendment.

SECTION 9.08 REQUIRED DOCUMENTS FOR ALL BOARD OF ADJUSTMENT REVIEW APPLICATIONS

- A. A narrative detailing the issues that are triggering the need for a Variance, Administrative Appeal, or Special Exceptions.
- B. A write up addressing and identifying the appropriate criteria per the proper application as identified in Article 2, as either a separate document or as part of the narrative.
- C. If necessary, a Site plan as detailed in Section 9.02 above.
- D. Any documents as requested by the City Manager or their designee to fully and properly review the request.

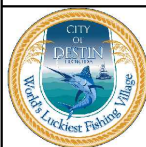
SECTION 9.09 REQUIRED DOCUMENTS FOR A SPECIAL EVENT APPLICATION

- A. A detailed narrative of the event to include but not limited to:
 - 1. Event contact names, numbers
 - 2. Dates
 - 3. Location
 - 4. Event purpose
 - 5. Hours of operation
 - 6. Any other information that will explain how the event will operate.
- B. Site Plan as detailed Section 9.02 above
- C. Any parking agreements to meet minimum parking requirements.
- D. Security Plan (will be reviewed by the Okaloosa County Sheriff's Department)
- E. Indemnification policy releasing the City of any responsibility.
- F. Other documents required by the City Manager or their designee required for proper review and approval.



NOTE(S):

1. SWALE AND RETENTION AREAS TO BE SODDED.
2. ANYTHING NOT IMPERVIOUS WITHIN THE RIGHT-OF-WAY AND EASEMENT (UTILITY & DRAINAGE) AREAS SHALL BE SODDED.
3. ANY EASEMENTS (DRAINAGE, UTILITY, ETC.) THAT MAY BE ADJACENT TO THE RIGHT-OF-WAY SHALL BE SODDED.
4. THE MORE STRINGENT OF THE CITY'S OR MANUFACTURERS SPECIFICATIONS SHALL BE MET.
5. MINIMUM PERCOLATION RATE REQUIRED: 20"/HOUR
6. ALL BASE MATERIAL SHALL BE WASHED & GRADED.
7. ALL WASHED AND GRADED MATERIALS ALONG WITH FINAL INFILL SHALL MEET ALL THE WHITE SAND ZONE 1 & 2 MINIMUM STANDARDS.

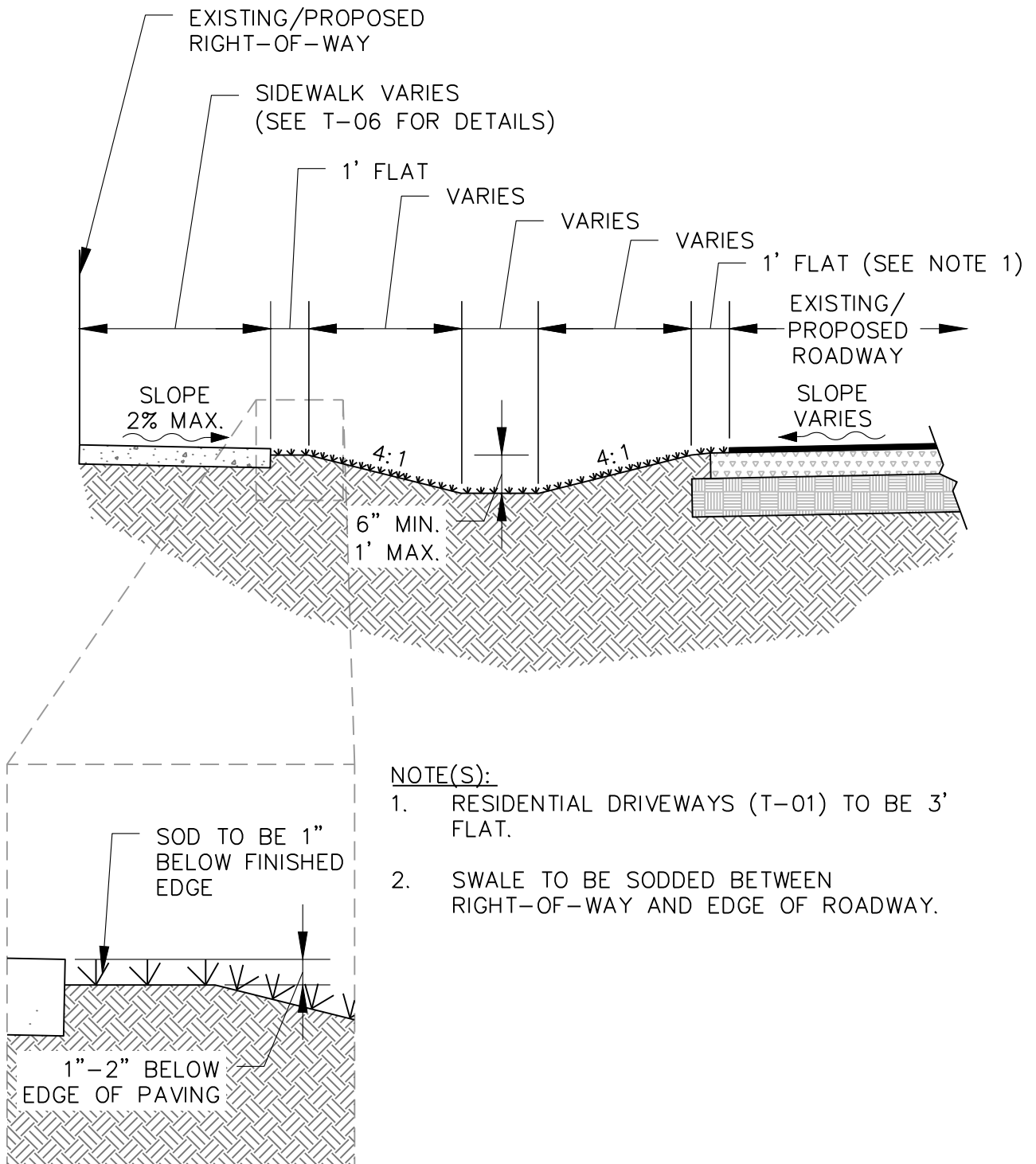


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**TYPICAL DETAILS
CITY OF DESTIN, FL**

SHEET TITLE			
ARTIFICIAL TURF			
DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.	
PROJECT NO: N/A	SCALE: N.T.S.	D-01	



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TYPICAL DETAILS CITY OF DESTIN, FL

SHEET TITLE RIGHT-OF-WAY SWALE DETAIL

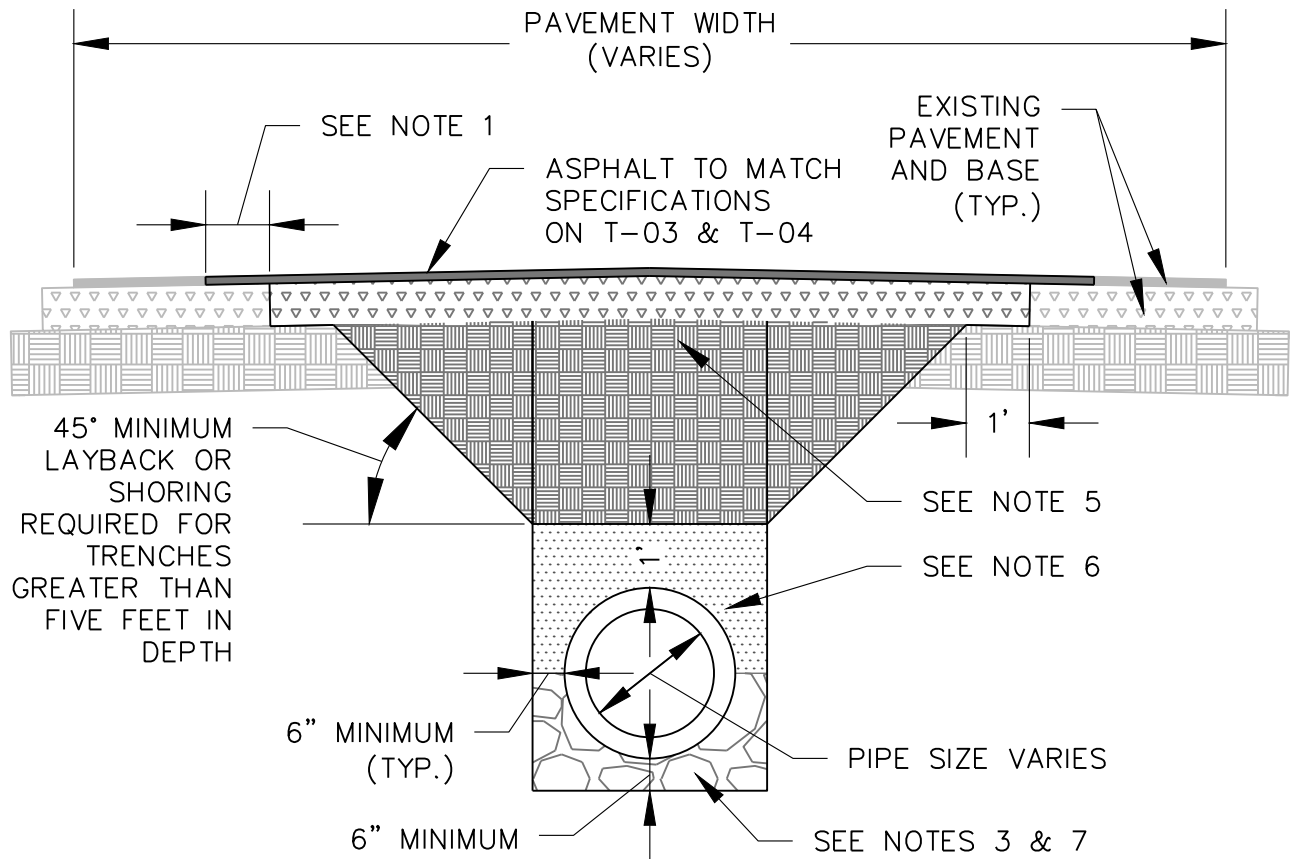
REV	DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
	PROJECT NO: N/A	SCALE: N.T.S.	D-02

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SHEET TITLE
**PERFORATED PIPE UNDERDRAIN
INSTALLATION DETAIL**

R E V		DATE: MARCH 2023	FILE NO.: N/A	SHEET NO. D-03
		PROJECT NO: N/A	SCALE: N.T.S.	

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NOTE(S):

1. CONTRACTOR SHALL MAKE CLEAN STRAIGHT CUT 12" FROM EDGE OF NEW LIMEROCK BASE PRIOR TO PLACING NEW SURFACE AND INSTALL A FLUSH JOINT.
2. TRENCH WIDTH AT THE GROUND SURFACE SHALL NOT EXCEED 10' ON EITHER SIDE OF THE PIPE CENTER LINE.
3. WHEN INSTALLING PIPE IN AREAS WITH FLUCTUATING GROUND WATER, WHERE DEWATERING SHALL BE REQUIRED, USE #89 STONE OR FDOT TYPE B BEDDING IN AREAS THAT ARE PREDOMINATELY FINE SAND.
4. WHEN WIDTH OF PAVEMENT REQUIRED TO BE REMOVED FOR TRENCH EXCEEDS 50% OF PAVEMENT WIDTH, THE ENTIRE WIDTH OF PAVEMENT SHALL BE REMOVED AND REPLACED, IN ACCORDANCE TO T-03 & T-04. BASE AND SUBGRADE SHALL EXTEND 6" BEYOND EDGE OF ASPHALT.
5. STABILIZED SUBGRADE (LBR 40), COMPACTED 98% MAX DENSITY PER ASTM D1557.
6. PIPE BACKFILL MATERIALS: CLEAN DRY SAND, FINE LIMEROCK OR PIT SHELL COMPACTED TO 95% MAX DENSITY PER ASTM D1557.
7. PIPE BEDDING MATERIAL IN DRY CONDITIONS AND UNDER ANY ROADWAY: #57 STONE OR FINE LIMEROCK COMPACTED TO 95% MAX DENSITY PER ASTM D1557.



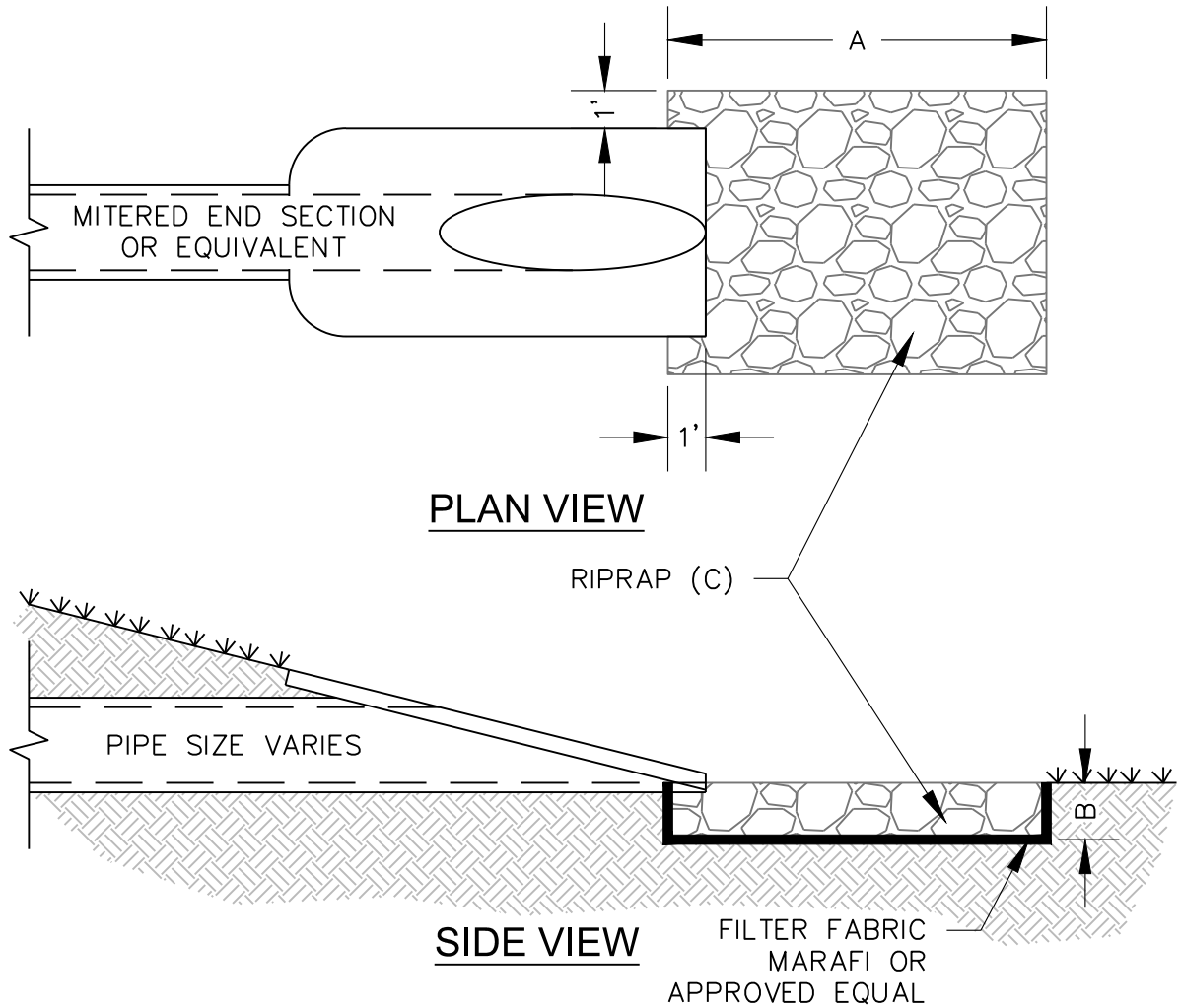
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**TYPICAL DETAILS
CITY OF DESTIN, FL**

SHEET TITLE				
REMOVAL AND REPLACEMENT OF ASPHALT				
R V M		DATE: MARCH 2023	FILE NO.:	N/A
		PROJECT NO: N/A	SCALE:	N.T.S.
				SHEET NO. D-04

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CULVERT SIZE (IN)	LENGTH OF APRON (FT) A	DEPTH OF APRON (FT) B	MINIMUM DIAMETER RIPRAP (IN) C
12	5	1.5	4
18	7	1.5	4
24	9	1.5	4
30	13.5	2	6
36	16	2	6
42	22	2.5	8
48	25	2.5	8



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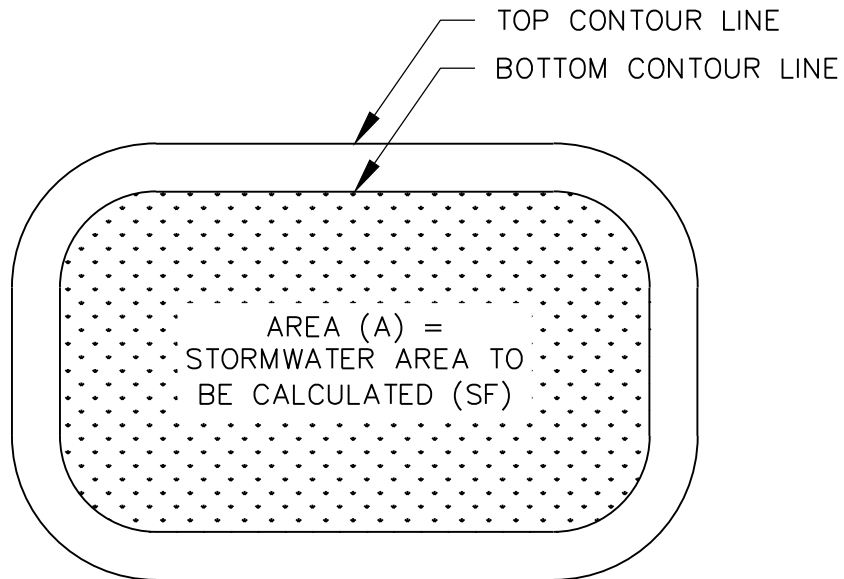
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TYPICAL DETAILS
CITY OF DESTIN, FL

REV

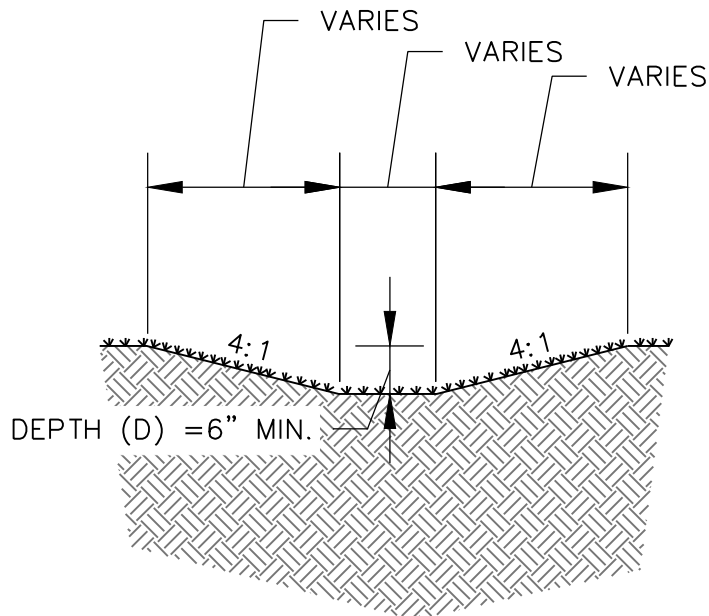
SHEET TITLE
RIPRAP CULVERT

DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
PROJECT NO: N/A	SCALE: N.T.S.	D-05



PLAN VIEW

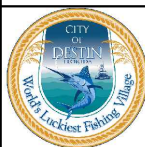
$$\text{VOLUME CALCULATION (V) (CF)} = A \times (D/12)$$



TYPICAL SECTION

NOTE(S):

1. ALL SLOPES AND BOTTOMS TO BE STABILIZED.



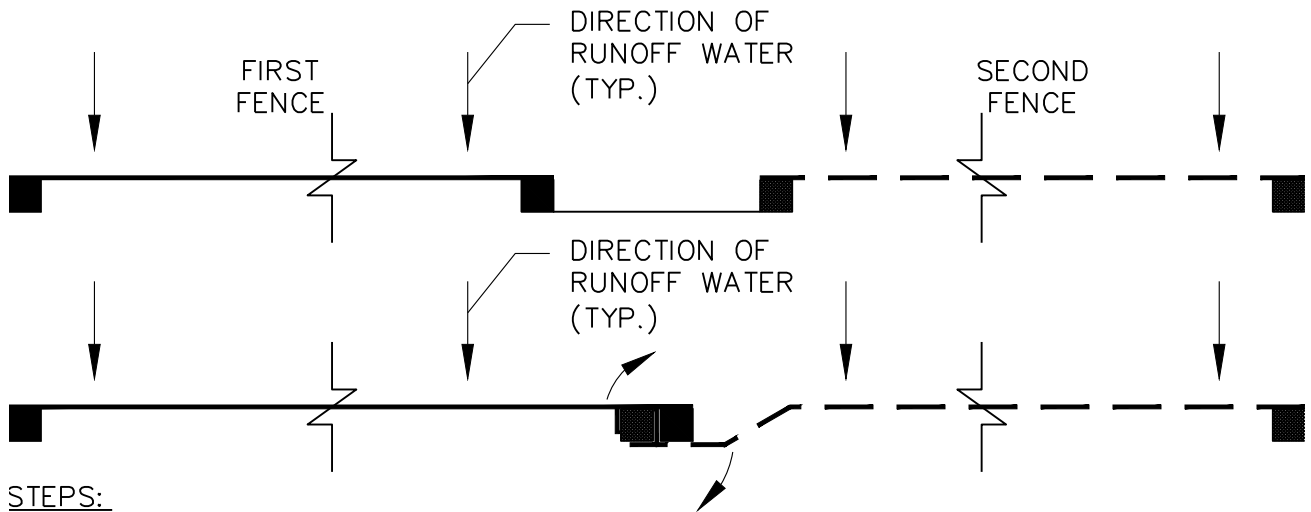
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TYPICAL DETAILS
CITY OF DESTIN, FL

SHEET TITLE
RETENTION & SWALE DETAILS

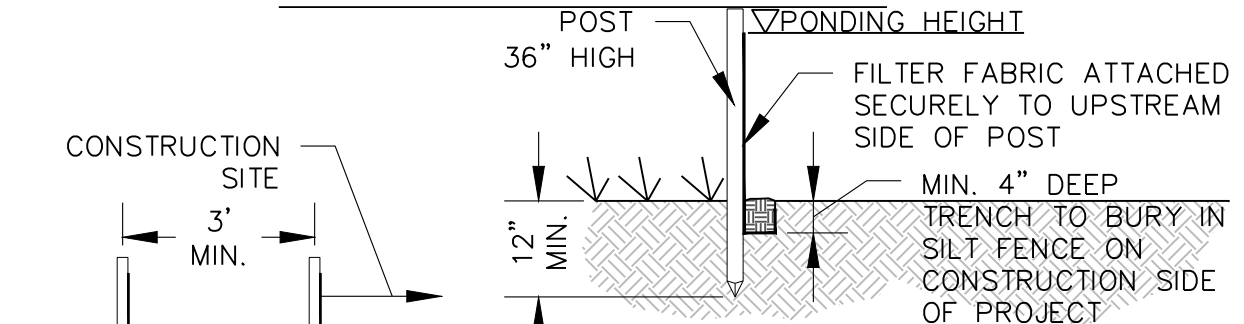
REV	DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
	PROJECT NO: N/A	SCALE: N.T.S.	D-06



STEPS:

1. PLACE THE END POST OF THE SECOND FENCE INSIDE THE END POST OF THE FIRST FENCE.
2. ROTATE BOTH POSTS AT LEAST 180° IN A CLOCKWISE DIRECTION TO CREATE A TIGHT SEAL WITH THE FABRIC MATERIAL.

ATTACHING TWO SILT FENCES

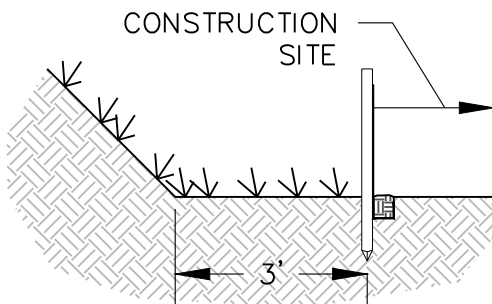


SINGLE ROW INSTALL

NOTE(S):

1. INSPECT AND REPAIR 24 HOURS AFTER EACH $\frac{1}{2}$ " RAINFALL OR ONCE PER WEEK.
2. REMOVE SEDIMENT DEPOSITS WHEN IT REACHES HALF THE HEIGHT OF THE BARRIER.
3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
4. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
5. DRAINAGE AREA SHALL NOT EXCEED $\frac{1}{4}$ ACRE PER 100 L.F. OF FENCE MAXIMUM GRADIENT BEHIND BARRIER IS 2:1.
6. NO CONSTRUCTION ACTIVITY OR STORAGE BETWEEN DOUBLE ROW OF SILT FENCE (OR APPROVED EQUAL)

DOUBLE ROW INSTALL



TOE OF SLOPE INSTALL



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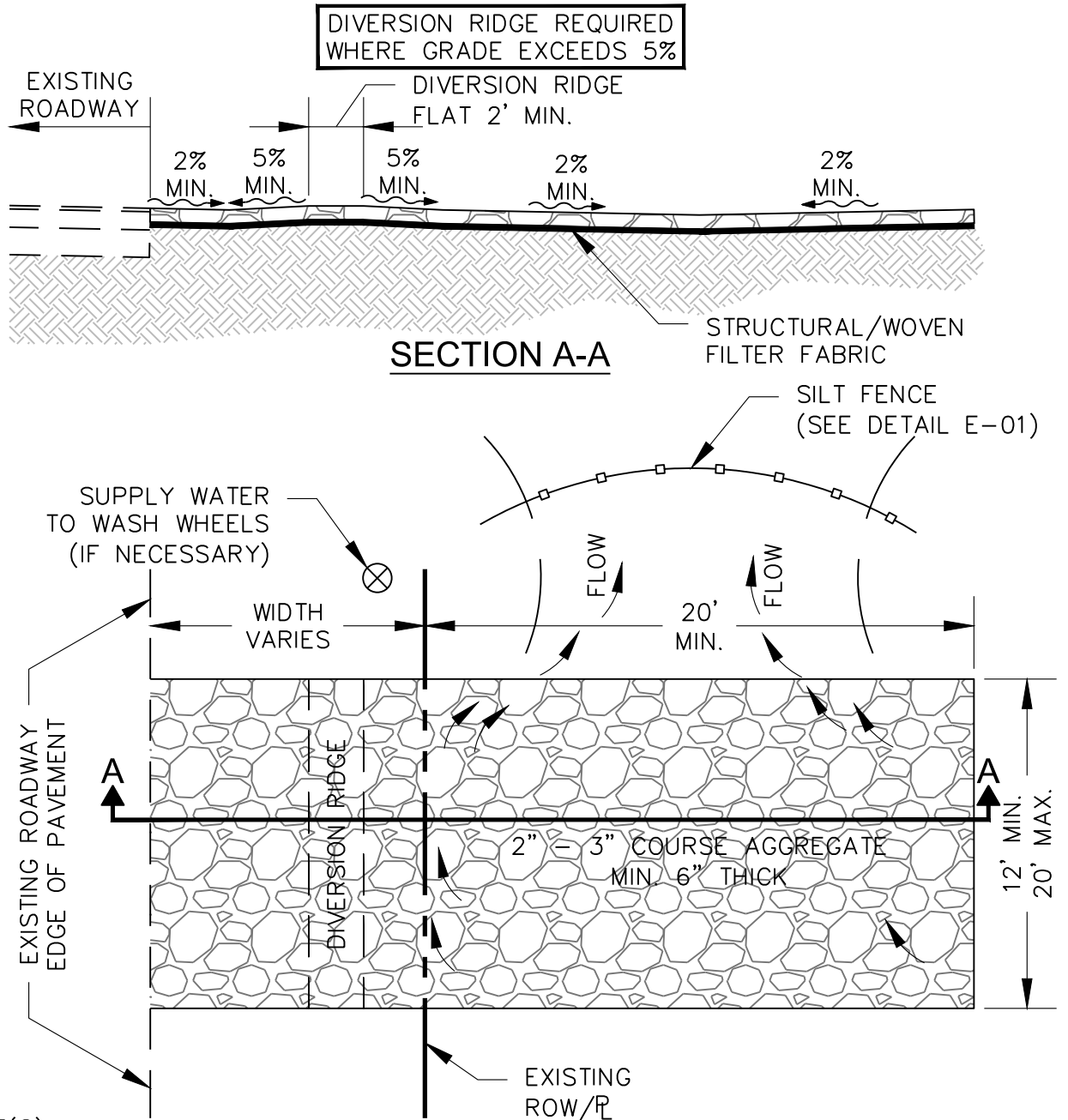
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TYPICAL DETAILS
CITY OF DESTIN, FL

SHEET TITLE

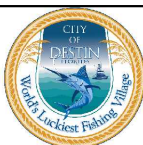
SILT FENCE

REV	DATE: MARCH 2023	FILE NO.: N/A	SHEET NO. E-01
	PROJECT NO: N/A	SCALE: N.T.S.	



NOTE(S):

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY, THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN-OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
4. ANY SEDIMENT TRACKED ONTO ROADWAYS SHALL BE SWEEPED AND PLACED BACK ONTO SITE AT THE END OF EACH WORKING DAY.



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TYPICAL DETAILS
CITY OF DESTIN, FL

TEMPORARY
CONSTRUCTION ENTRANCE

DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
PROJECT NO: N/A	SCALE: N.T.S.	E-02

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GENERAL NOTES:

1. **ELEVATIONS REFERENCE TO NAVD 1988. CONVERSION TO NGVD 1929 IS:
NAVD 1988 ±X.XX = NGVD 1929.**
 2. THE GENERAL NOTES MUST BE PART OF THE ENTIRE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN MUST BE REFERRED TO BY THE CONTRACTOR. THE CONTRACTOR MUST BE FAMILIAR WITH ACKNOWLEDGE FAMILIARITY WITH ALL THE GENERAL NOTES AND ALL OF THE PLANS SPECIFICATIONS NOTES.
 3. CONTRACTOR MUST VERIFY ALL DIMENSIONS INCLUDED WITHIN THE PLAN SET AND SHOULD NOT SCALE OFF THE DRAWINGS DUE TO POTENTIAL PRINTING INACCURACIES. ALL DIMENSIONS ARE TO BE CHECKED CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS, FABRICATION/ORDERING OF PARTS MATERIALS PRIOR TO START OF SITE WORK.
 4. THE ENGINEER OF RECORD AND THE CITY OF DESTIN ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY, JOB SITE SUPERVISION, OR ANYTHING RELATED TO THE SAME. THE ENGINEER OF RECORD AND THE CITY OF DESTIN ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES OR ANY JOB SITE CONDITIONS, AT ANY TIME.
 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE OF FLORIDA, DEPARTMENT OF TRANSPORTATION, STANDARD PLANS (LATEST EDITION), CITY OF DESTIN DEVELOPMENT STANDARDS, SPECIFICATIONS, & REQUIREMENTS.
 6. CONTRACTOR SHALL RETAIN, ON THE WORK SITE, COPIES OF ANY PERMITS NECESSARY FOR CONSTRUCTION.
 7. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY REQUIRED DEWATERING PERMITS.
 8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY REQUIRED TREE REMOVAL PERMITS.
 9. THE SITE CONTRACTOR SHALL BECOME FAMILIAR WITH THE GEOTECHNICAL REPORT IF ONE WAS PREPARED. THE CONTRACTOR SHALL COMPLY WITH ALL THE SITE PREPARATION OTHER SITE RELATED ITEMS, RECOMMENDATIONS PROCEDURES.
 10. CONTRACTOR TO VERIFY ENGINEER'S SITE PLAN AND THE ARCHITECT'S BUILDING FOOTPRINT ARE CONSISTENT WITH EACH OTHER BEFORE BEGINNING CONSTRUCTION.
 11. THIS PROJECT WILL NOT ADVERSELY IMPACT ANY SURFACE WATER OR GROUNDWATER.
 12. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF EXISTING STREETS ADJACENT TO THE PROJECT. ALL TEMPORARY TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 102-100 THRU 102-670 (LATEST EDITION), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), (LATEST EDITION).
- 24 HOUR TRAFFIC CONTROL POINT OF CONTACT: _____
- PHONE NUMBER: _____
13. CONTRACTOR IS REQUIRED TO OBTAIN FROM THE CITY ENGINEER/UTILITY/ENGINEER OF RECORD (EOR), WRITTEN APPROVAL FOR ANY DEVIATIONS FROM THE PLANS AND/OR SPECIFICATIONS.
 14. EXISTING OFF-SITE DRAINAGE PATTERNS SHALL BE PROTECTED AND MAINTAINED DURING CONSTRUCTION.



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**TYPICAL DETAILS
CITY OF DESTIN, FL**

SHEET TITLE			
GENERAL NOTES			
REV	DATE: MARCH 2023	FILE NO.:	N/A
	PROJECT NO: N/A	SCALE:	N.T.S.
			SHEET NO. G-01

15. ANY PUBLIC CORNER MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE CITY ENGINEER WITHOUT DELAY.
16. THE LOCATION OF EXISTING UTILITIES, PAVEMENT, VEGETATION, AND MISCELLANEOUS IMPROVEMENTS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR. CONTACT SUNSHINE ONE CALL (811).
17. CONTRACTOR SHALL NOTIFY THE CITY OF DESTIN COMMUNITY DEVELOPMENT DEPARTMENT A MINIMUM OF 72 HOURS PRIOR TO ALL REQUIRED INSPECTIONS. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER, AS NEEDED, DURING CONSTRUCTION FOR THEIR INSPECTIONS.
18. CONTRACTOR TO INSTALL SILT FENCE AND OTHER APPROPRIATE MEASURES TO AFFECT THE FILTRATION OF SURFACE WATER FLOWS TO PROVIDE EROSION PROTECTION DURING CONSTRUCTION ACTIVITIES. PROTECTION IS TO BE MAINTAINED DURING THE CONSTRUCTION PERIOD UNTIL DISTURBED SOILS HAVE BEEN STABILIZED WITH GRASS OR SUITABLE EROSION PROTECTION TREATMENT.
19. DURING CONSTRUCTION, GRATE INLET AND JUNCTION BOX OPENINGS SHALL BE COVERED WITH FILTER FABRIC (MIRAFI 140N OR APPROVED EQUAL) TO PREVENT DEBRIS AND FILL FROM FALLING INTO THE INLETS.
20. CONTRACTOR SHALL USE DESIGNATED CONSTRUCTION ENTRANCES FOR EMPLOYEES AND DELIVERY OF MATERIALS.
21. CONTRACTOR SHALL CLEAR ALL EXCAVATION/FILL AREAS AS SHOWN ON THE PLANS. ACTUAL LIMITS OF CLEARING MAYBE ADJUSTED IN THE FIELD BY THE ENGINEER OF RECORD, CITY ENGINEER, OR, DESIGNEE.
22. CONTRACTOR SHALL REMOVE ALL MUCK OTHER UNSUITABLE MATERIAL FROM FILL AREAS PRIOR TO PLACEMENT OF FILL. ALL MUCK AND OTHER UNSUITABLE MATERIALS EXCAVATED OR REMOVED FROM FILL AREAS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS OR, STOCKPILED AT THE PROPOSED PROJECT AS DETERMINED BY THE ENGINEER OF RECORD, CITY ENGINEER, OR, DESIGNEE.
23. ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
24. CONTRACTOR SHALL PROMPTLY REPORT ALL FIELD CHANGES TO THE ENGINEER OF RECORD, CITY ENGINEER, OR, DESIGNEE.
25. HORIZONTAL LOCATIONS OF INLETS AND STORM DRAINS MAY BE FIELD ADJUSTED TO PRESERVE EXISTING VEGETATION WITH PERMISSION OF ENGINEER OF RECORD, CITY ENGINEER, OR, DESIGNATED REPRESENTATIVE. IN ADDITION, SITE GRADES MAY BE ADJUSTED IN FIELD BY THE ENGINEER OF RECORD AND APPROVED BY THE CITY ENGINEER, OR, DESIGNEE. SEE DESIGN MANUAL, DETAIL U-01.
26. THE CONTRACTOR IS REQUIRED TO ADJUST ALL VALVE BOXES, MANHOLE RIMS, GRATES, ETC. AS NECESSARY TO MATCH PROPOSED GRADES.
27. EXISTING FACILITIES DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION, AT NO ADDITIONAL COST TO THE CITY.
28. ALL UNPAVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE SODDED UNLESS OTHERWISE NOTED.



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TYPICAL DETAILS
CITY OF DESTIN, FL

SHEET TITLE			
GENERAL NOTES			
DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.	
PROJECT NO: N/A	SCALE: N.T.S.	G-02	

29. ALL CONCRETE SIDEWALKS SHALL HAVE CONTROL JOINTS CUT AT INTERVALS THE WIDTH OF THE SIDEWALK EXPANSION JOINTS PLACED ON 60-FT CENTERS, CHANGES OF DIRECTION, AND ABUTTING SEPARATE POURS. CONCRETE SAW CUTS SHALL BE COMPLETED WITHIN 48 HOURS AFTER PLACING CONCRETE.
30. THE CONTRACTOR SHALL ACCURATELY PLOT THE LOCATIONS AND DEPTHS OF ALL IMPROVEMENTS INSTALLED ON A FINAL SET OF RECORDED DRAWINGS WHICH SHALL BE DELIVERED TO THE CITY.
31. ALL CONSTRUCTION WORK PERFORMED MUST BE DONE BY A CONTRACTOR LICENSED IN THE STATE OF FLORIDA TO DO THE WORK INTENDED.
32. ALL WORKMANSHIP OR MATERIALS WHICH DO NOT CONFORM TO CITY SPECIFICATIONS FOR WORK THAT AFFECTS CITY PROPERTIES, RIGHTS-OF-WAYS OR EASEMENTS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
33. ANY UNDERGROUND WORK PERFORMED WITHOUT THE KNOWLEDGE OF THE CITY IS SUBJECT TO RE-EXCAVATION, REMOVAL AND REPLACEMENT OF SAME TO BE DONE AT THE CONTRACTOR'S EXPENSE.
34. ANYTHING NOT SHOWN ON THESE DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE CITY ENGINEER, ENGINEER OF RECORD OR DESIGNEE AND SHALL NOT CONSTITUTE A CHANGE ORDER, UNLESS APPROVED BY THE CITY ENGINEER.
35. CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THE PLANS. IF ANY DISCREPANCIES IN QUANTITIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER, OR, DESIGNEE.
36. CONTRACTOR IS RESPONSIBLE FOR DEVELOPING, IMPLEMENTING, MAINTAINING AN EFFECTIVE STORM WATER POLLUTION PREVENTION PLAN.
37. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING FDEP NPDES APPROVAL PRIOR TO STARTING WORK.
38. ROUGH GRADE PROPOSED RETENTION AREAS AS EARLY INTO THE PROJECT AS POSSIBLE OR PRIOR TO CHANGING SITE GRADING.
39. CONTRACTOR IS RESPONSIBLE FOR DEVELOPING AND IMPLEMENTING A FOUL WEATHER (HURRICANE) PLAN FOR SECURING THE SITE PRIOR TO INCLEMENT WEATHER.

PAVING, GRADING, & DRAINAGE NOTES:

1. THE SITE CAN BE UTILIZED SAFELY FOR BUILDING PURPOSES WITHOUT UNDUE DANGER FROM FLOODING OR ADVERSE SOIL CONDITIONS.
2. LENGTH OF STORM PIPES ARE APPROXIMATE & ARE MEASURED FROM CENTER OF STRUCTURE.
3. CONTRACTOR SHALL NOTIFY THE CITY & CONTACT ALL UTILITY COMPANIES (SUNSHINE 811) FOR LOCATIONS OF EXISTING UTILITIES IN THE AREA 72 HOURS (MIN.) PRIOR TO COMMENCING CONSTRUCTION.
4. IF SITE IS TO BE STABILIZED BY SEED & MULCH, PLACE 200 S.F. OF SOD AROUND ALL INLETS, HEADWALLS, & CONTROL STRUCTURES. USE ARGENTINA BAHIA & CONFORM TO FDOT SPECIFICATIONS.
5. IF SITE IS TO BE STABILIZED BY SEED & MULCH, PLACE 18" OF SOD CONTINUOUS ALONG EDGES OF PAVEMENT OF ALL ROADS AND/OR CURB, LAYING PARALLEL WITH THE ROAD MAINTAINING 2" BELOW FINISHED PAVEMENT.



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**TYPICAL DETAILS
CITY OF DESTIN, FL**

SHEET TITLE			
GENERAL NOTES			
DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.	
PROJECT NO: N/A	SCALE: N.T.S.	G-03	

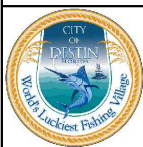
6. THE STORM DRAINAGE PIPING & FILTRATION SYSTEM SHALL BE SUBJECTED TO A VISUAL INSPECTION BY THE CITY PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE CITY ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.
7. THE CONTRACTOR SHALL MAINTAIN THE STORM SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE STORM SYSTEM WILL BE INSPECTED BY THE CITY ENGINEER, OR, DESIGNEE PRIOR TO FINAL ACCEPTANCE.
8. FINISHED GRADE OUTSIDE OF BUILDINGS MUST BE 4"–6" BELOW THE FINISHED FLOOR ELEVATION.
9. ALL RCP/ERCP STORM DRAIN JOINTS SHALL BE WRAPPED IN MARAFI FABRIC.
10. ALL UNDERGROUND PIPING TO HAVE A MINIMUM OF 36" COVER, OR, AS SPECIFIED IN THE PLAN.

SIGNING AND PAVEMENT MARKING NOTES:

1. ALL SIGNING AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH FDOT STANDARD PLANS (LATEST ADDITION), THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), (LATEST EDITION), AND THE CURRENT CITY OF DESTIN LAND DEVELOPMENT CODE & DESIGN MANUAL.
2. MATCH EXISTING PAVEMENT MARKING STYLE AT EXISTING ROADS, UNLESS OTHERWISE STATED.
3. CONTRACTOR SHALL SET ROADWAY GROUND MOUNT SIGNS AT PROPER DEFLECTION ANGLE TO THE ROADWAY IN ACCORDANCE WITH FDOT STANDARD PLANS STANDARD PLANS NUMBER 700–101.
4. SEE FDOT STANDARD PLANS NUMBERS 711–001 & 706–001 FOR ADDITIONAL SIGNING & MARKING DETAILS.
5. ALL STOP SIGN LOCATIONS SHALL INCLUDE A 24" THERMOPLASTIC WHITE STOP BAR.
6. THE CONTRACTOR SHALL PROVIDE & INSTALL BLUE/BLUE REFLECTIVE PAVEMENT MARKERS AT THE CENTER OF THE TRAFFIC LANE NEAREST ALL EXISTING & PROPOSED FIRE HYDRANTS. CONTACT DESTIN FIRE CONTROL DISTRICT.
7. ALL PAVEMENT MARKINGS WITHIN THE CITY RIGHT-OF-WAY TO BE THERMOPLASTIC WITHIN 30 CALENDAR DAYS OF ASPHALT PLACEMENT, TEMPORARY LATEX PAINT PER NOTE 3 OF DESIGN MANUAL DETAIL G–18.

ACCESSIBILITY DESIGN GUIDELINES:

1. ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS & ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM THE MOST STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (LATEST ADDITION); OR (B) ANY APPLICABLE LOCAL & STATE GUIDELINES, & ANY & ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT AT THE TIME OF CONSTRUCTION.



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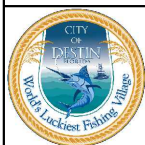
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CITY OF DESTIN, FL**

SHEET TITLE			
GENERAL NOTES			
DATE: MARCH 2023	FILE NO.:	N/A	SHEET NO.
PROJECT NO: N/A	SCALE:	N.T.S.	G-04

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UTILITY NOTES:

1. CONTRACTOR TO COORDINATE WITH DESTIN WATER USERS, INC. OR SOUTH WALTON UTILITY CO., INC. DURING CONSTRUCTION AS NECESSARY.
2. CONTRACTOR TO ENSURE ALL WATER, SEWER, & REUSE INSTALLATION IS FOLLOWING THE DESTIN WATER USERS OR SOUTH WALTON UTILITY CO., INC. CURRENT MINIMUM STANDARDS (LATEST EDITION).
3. CONTRACTOR SHALL PLACE VALVE BOXES OUTSIDE PAVEMENT OR DRIVEWAYS WHERE POSSIBLE.
4. MINIMUM VERTICAL AND HORIZONTAL SEPARATION SHALL BE PROVIDED IN ACCORDANCE WITH RULE 62-555.314, F.A.C. OR
<https://floridadep.gov/sites/default/files/location-of-publicwatersystemmains.pdf>.
5. CONTRACTOR TO CALL SUNSHINE 811 & LOCATE ALL EXISTING LINES BEING TIED INTO & VERIFY GRADES BEFORE BEGINNING CONSTRUCTION.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL SUNSHINE 811, LOCATE & TAKE ALL POSSIBLE PRECAUTIONS TO AVOID ANY DAMAGE TO ALL UNDERGROUND PIPELINES, TELEPHONE, CABLE TV, FIBER, ELECTRIC LINES, CONDUIT & STRUCTURES IN ADVANCE OF ANY CONSTRUCTION. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY & ALL DAMAGES THAT MAY OCCUR DUE TO HIS/HER FAILURE TO EXACTLY LOCATE & PROTECT EXISTING UTILITIES & STRUCTURES.
7. CONTRACTOR SHALL CONTACT THE CITY ENGINEER, OR, DESIGNEE & UTILITY CONTACT IMMEDIATELY CONCERNING ANY CONFLICTS WITH UTILITIES/STRUCTURES ARISING DURING CONSTRUCTION OF ANY FACILITY SHOWN ON THESE DRAWINGS.
8. ALL UNDERGROUND PRESSURE PIPING TO MAINTAIN A MINIMUM OF 36" OF COVER TO EVERY EXTENT POSSIBLE, EXCEPT APPROVED DIRECTIONAL DRILLS.
9. ALL VALVES LOCATED WITHIN CITY ROADS SHALL HAVE A 24"x24" CONCRETE VALVE PAD. SEE DESIGN MANUAL DETAIL U-01.
10. PREFABRICATED CONCRETE COLLARS OR "DONUTS" CAN BE USED AS VALVE PROTECTION IN VEGETATED OR GREEN SPACES.

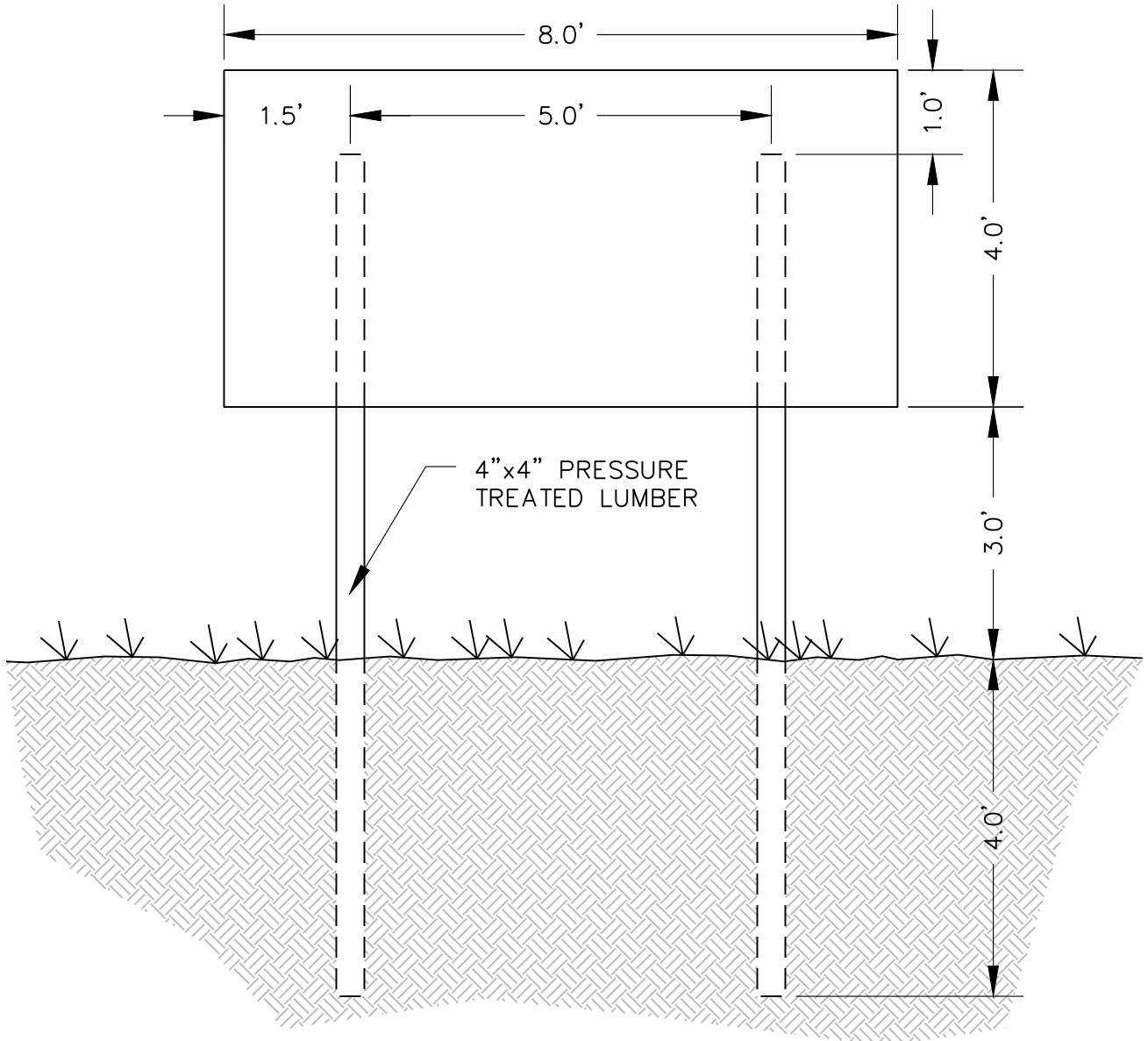


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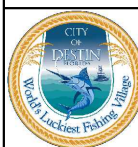
TYPICAL DETAILS
CITY OF DESTIN, FL

SHEET TITLE			
GENERAL NOTES			
REV	DATE:	MARCH 2023	FILE NO.: N/A
	PROJECT NO:	N/A	SCALE: N.T.S.
			SHEET NO. G-05



CITY OF DESTIN YOUR TAX DOLLARS AT WORK		
	NAME OF PROJECT	GENERAL CONTRACTOR LOGO
<u>MAYOR, CITY COUNCIL, & CITY MANAGER:</u>		
MAYOR	COUNCIL MEMBER	COUNCIL MEMBER
COUNCIL MEMBER	COUNCIL MEMBER	COUNCIL MEMBER
COUNCIL MEMBER	COUNCIL MEMBER	CITY MANAGER
CONTRACTOR: _____		COMPLETION: _____
START DATE: _____		PROJECT COST: _____

NOTE: SIGN MAY REQUIRE FEDERAL OR STATE LANGUAGE FOR GRANT PROJECTS.

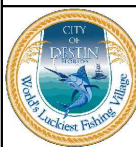
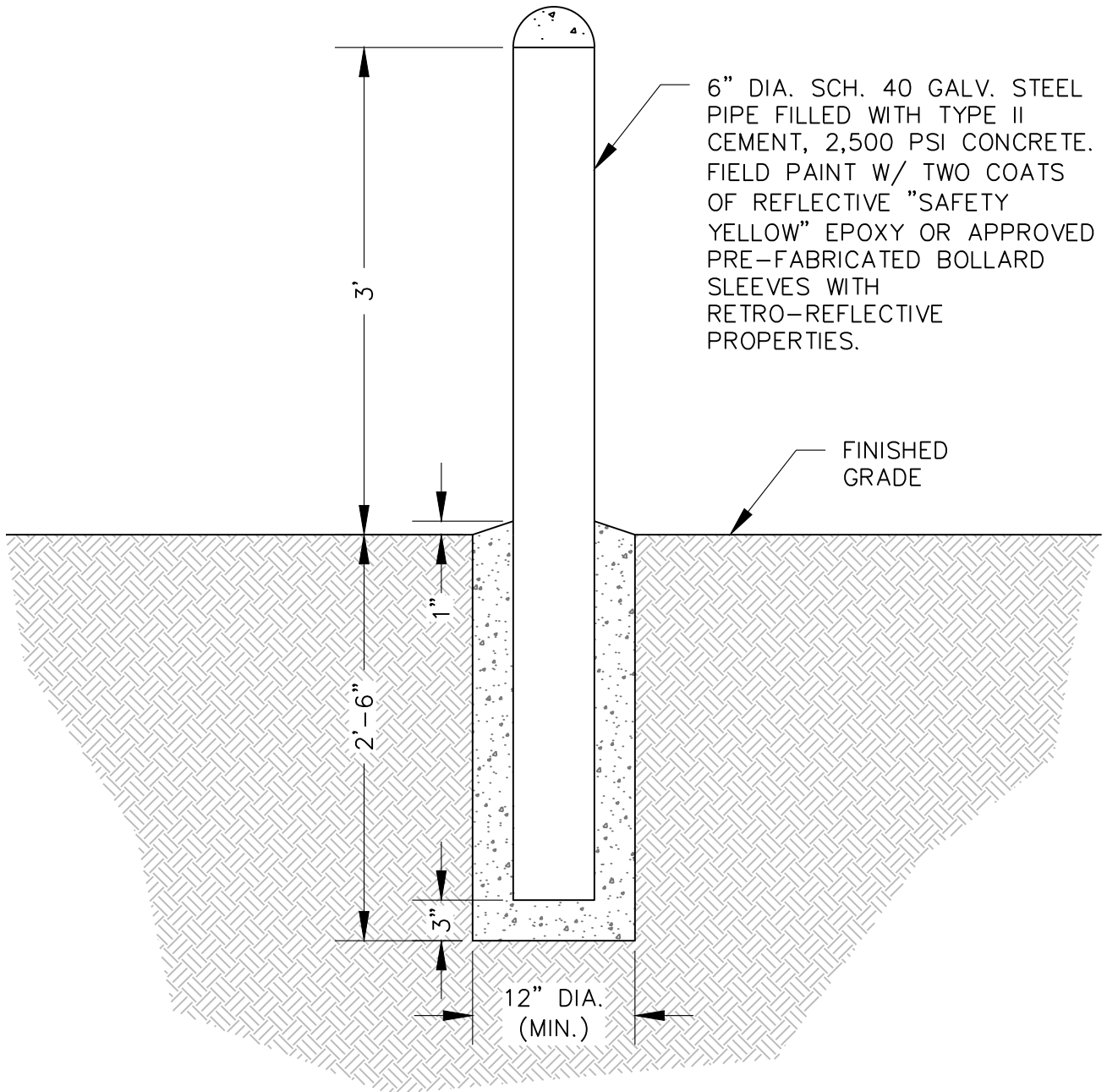


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TYPICAL DETAILS
CITY OF DESTIN, FL

SHEET TITLE			
CITY PROJECT SIGN			
DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.	
PROJECT NO: N/A	SCALE: N.T.S.	G-06	

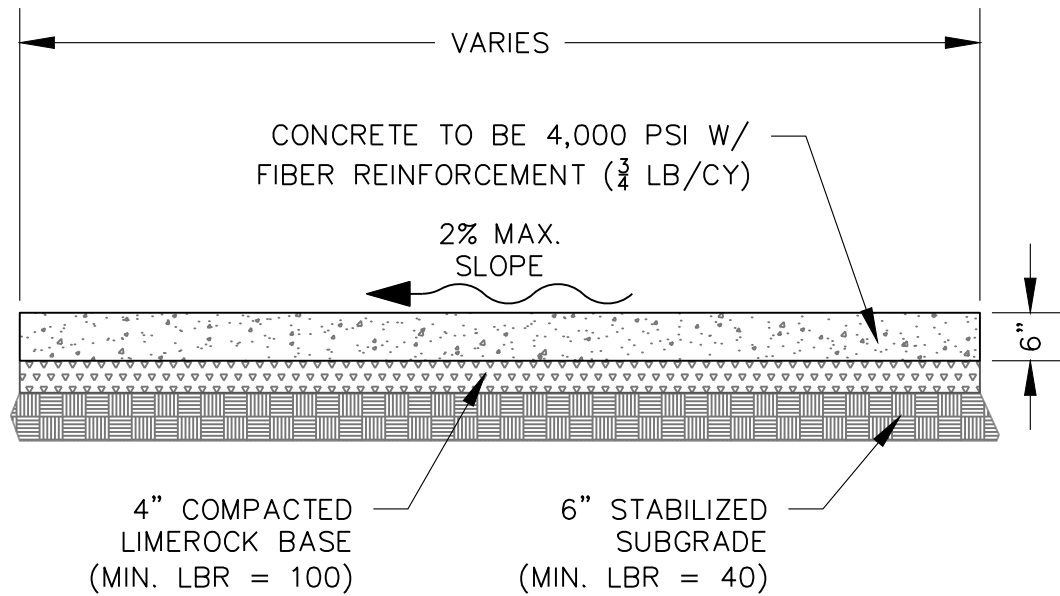


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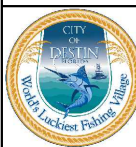
TYPICAL DETAILS CITY OF DESTIN, FL

SHEET TITLE			
BOLLARD POST			
DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.	
PROJECT NO: N/A	SCALE: N.T.S.	G-07	



NOTE(S):

1. IN-LIEU OF FIBER REINFORCEMENT CONTRACTOR MAY USE WIRE MESH (6x6 W1.1xW1.4 WWF).

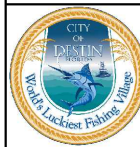


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TYPICAL DETAILS
CITY OF DESTIN, FL

SHEET TITLE			
CONCRETE PAD DETAIL			
DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.	
PROJECT NO: N/A	SCALE: N.T.S.	G-08	



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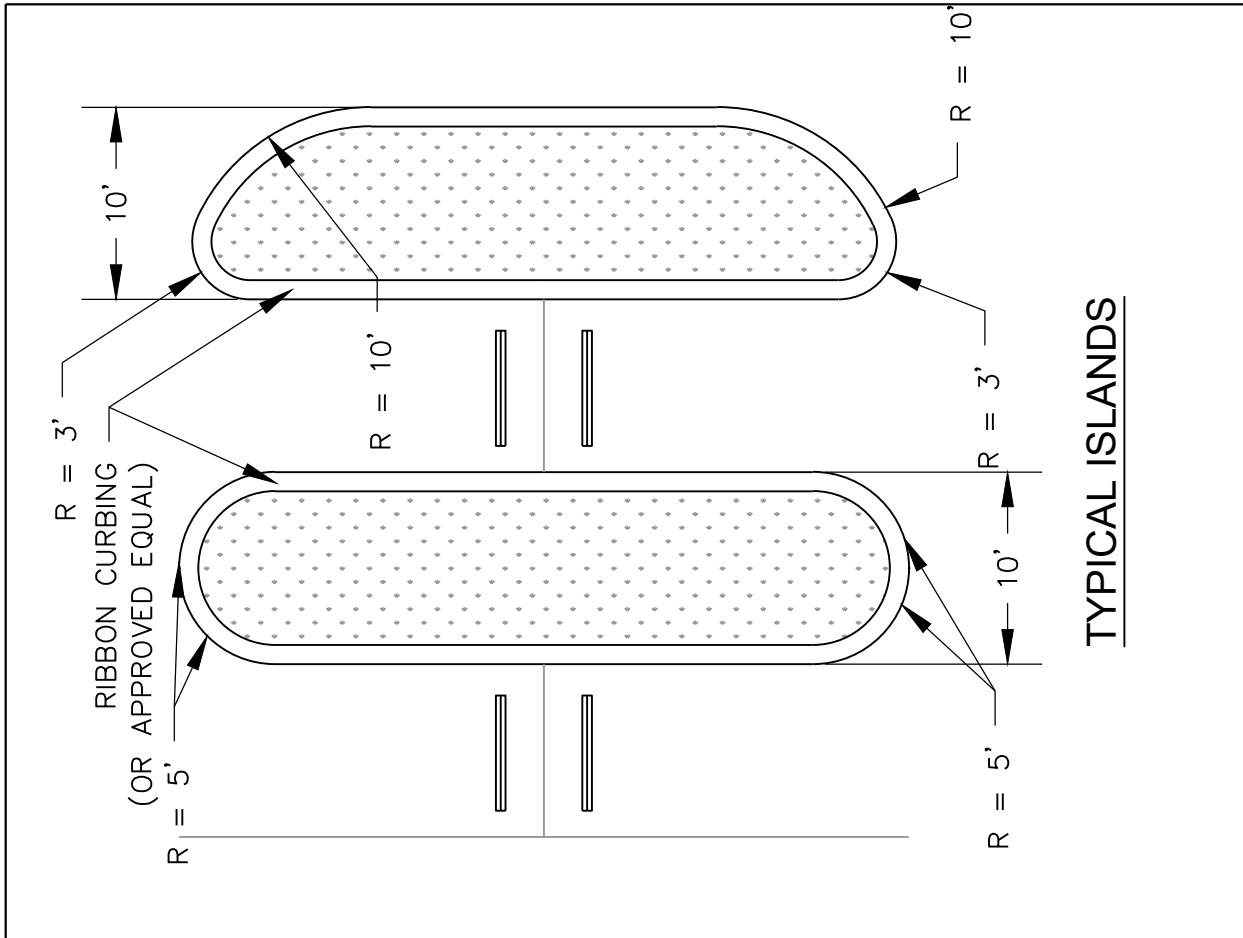
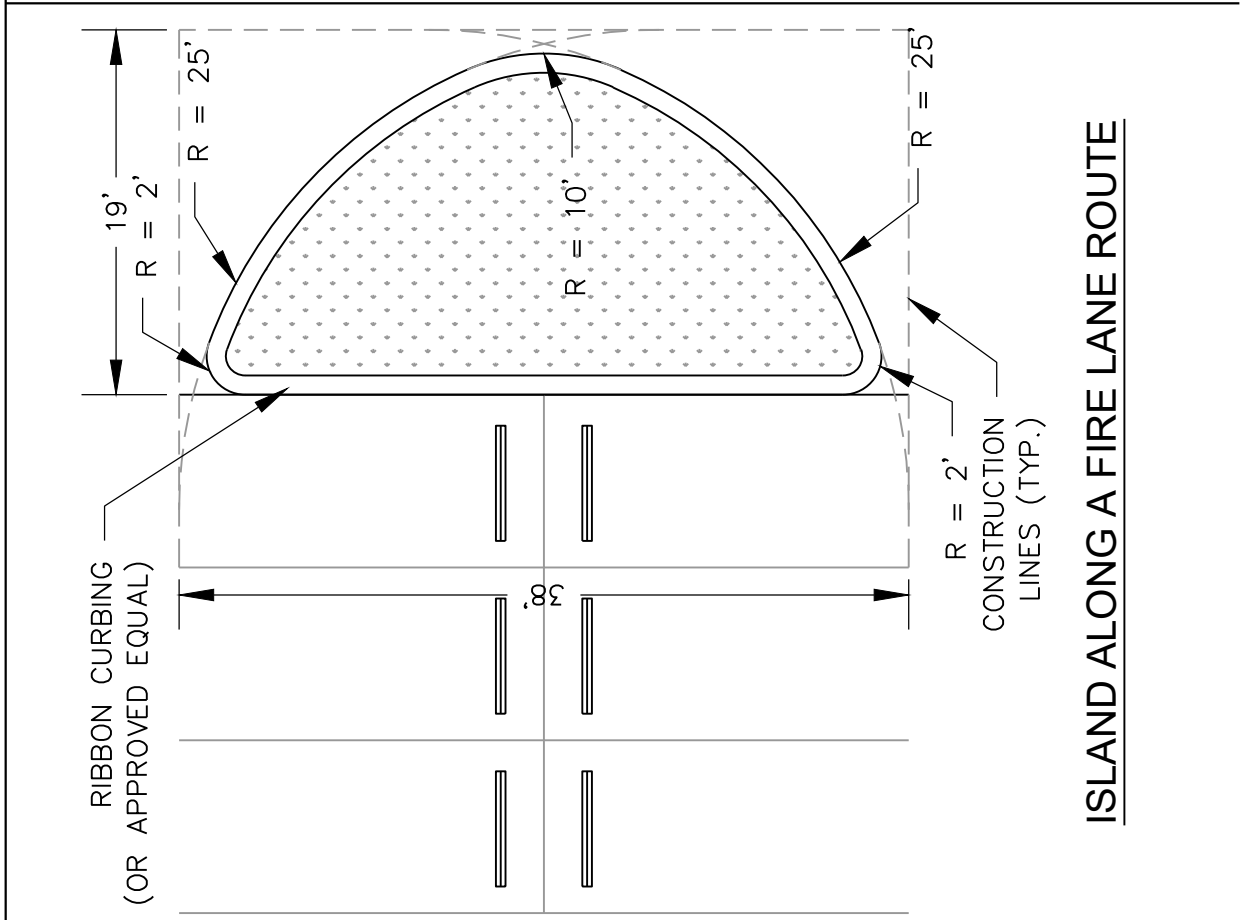
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DATE: MARCH 2023	FILE NO.:	N/A
PROJECT NO: N/A	SCALE:	N.T.S.

SHEET TITLE

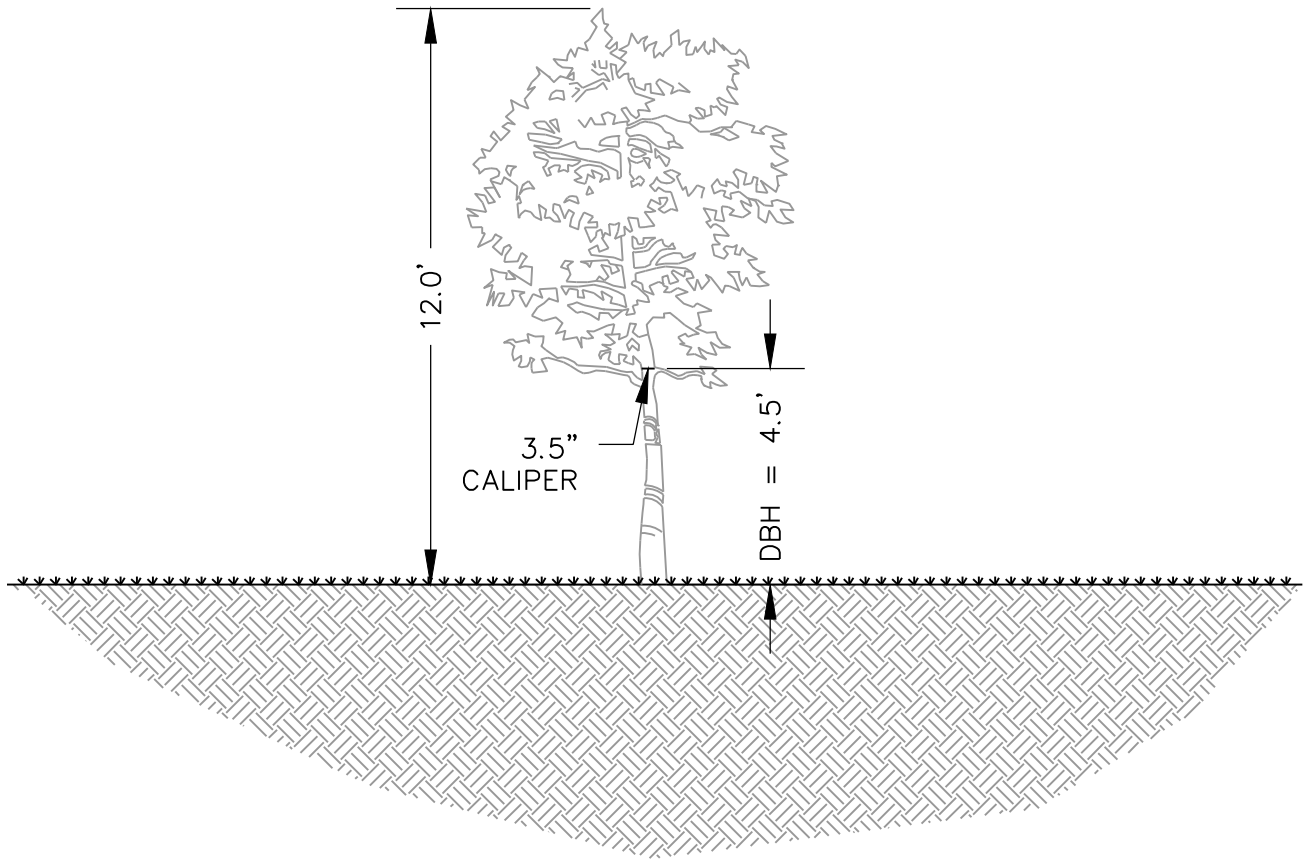
LANDSCAPE ISLANDS

SHEET NO.
L-01



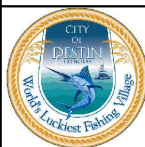
NOTE(S):

1. MINIMUM LANDSCAPE ISLAND WIDTH IS 10' (EOP TO EOP).
2. MINIMUM LANDSCAPE ISLAND AREA IS 175 SQUARE FEET (EOP TO EOP).
3. MINIMUM LANDSCAPE ISLAND INSIDE TURNING RADIUS ALONG A FIRE ROUTE IS 25'.



NOTE(S):

1. ALL SHOWN DIMENSIONS ARE AT THE TIME OF CERTIFICATE OF COMPLETION OR CERTIFICATE OF OCCUPANCY.
2. DBH = DIAMETER AT BREAST HEIGHT.

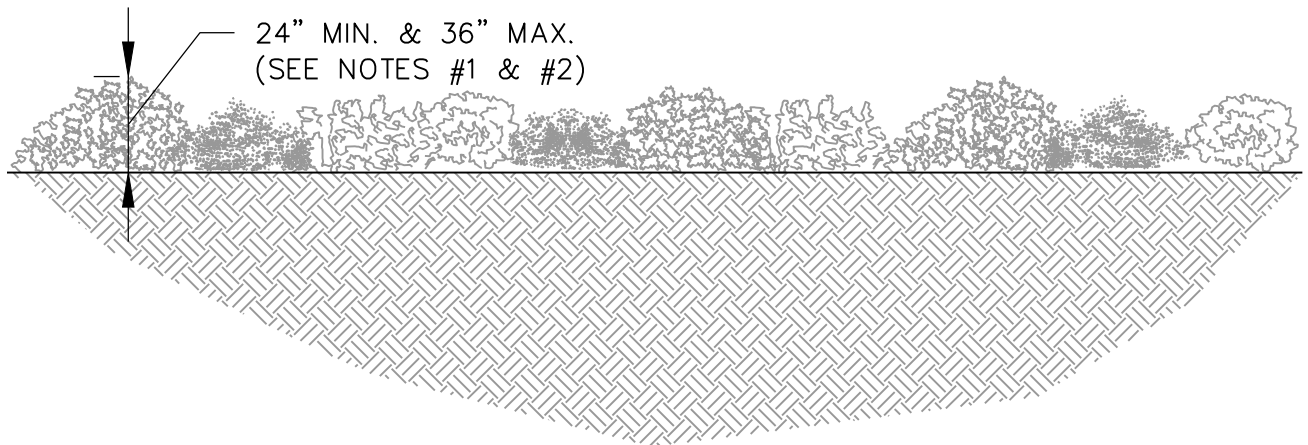


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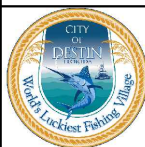
**TYPICAL DETAILS
CITY OF DESTIN, FL**

SHEET TITLE				
LANDSCAPE TREES				
REV	DATE: MARCH 2023	FILE NO.:	N/A	SHEET NO.
	PROJECT NO: N/A	SCALE:	N.T.S.	L-02



NOTE(S):

1. SHRUBS MUST BE A MINIMUM OF 24 INCHES IN HEIGHT, AT TIME OF PLANTING.
2. ALL SHRUBS MUST BE A MINIMUM THREE-GALLON CONTAINER SIZE AND BE SPACED 18 TO 36 INCHES ON CENTER.
3. SHRUBS SHALL NOT IMPEDE INTO THE SITE VISION TRIANGLE (TALLER THAN 36") AT ANYTIME.

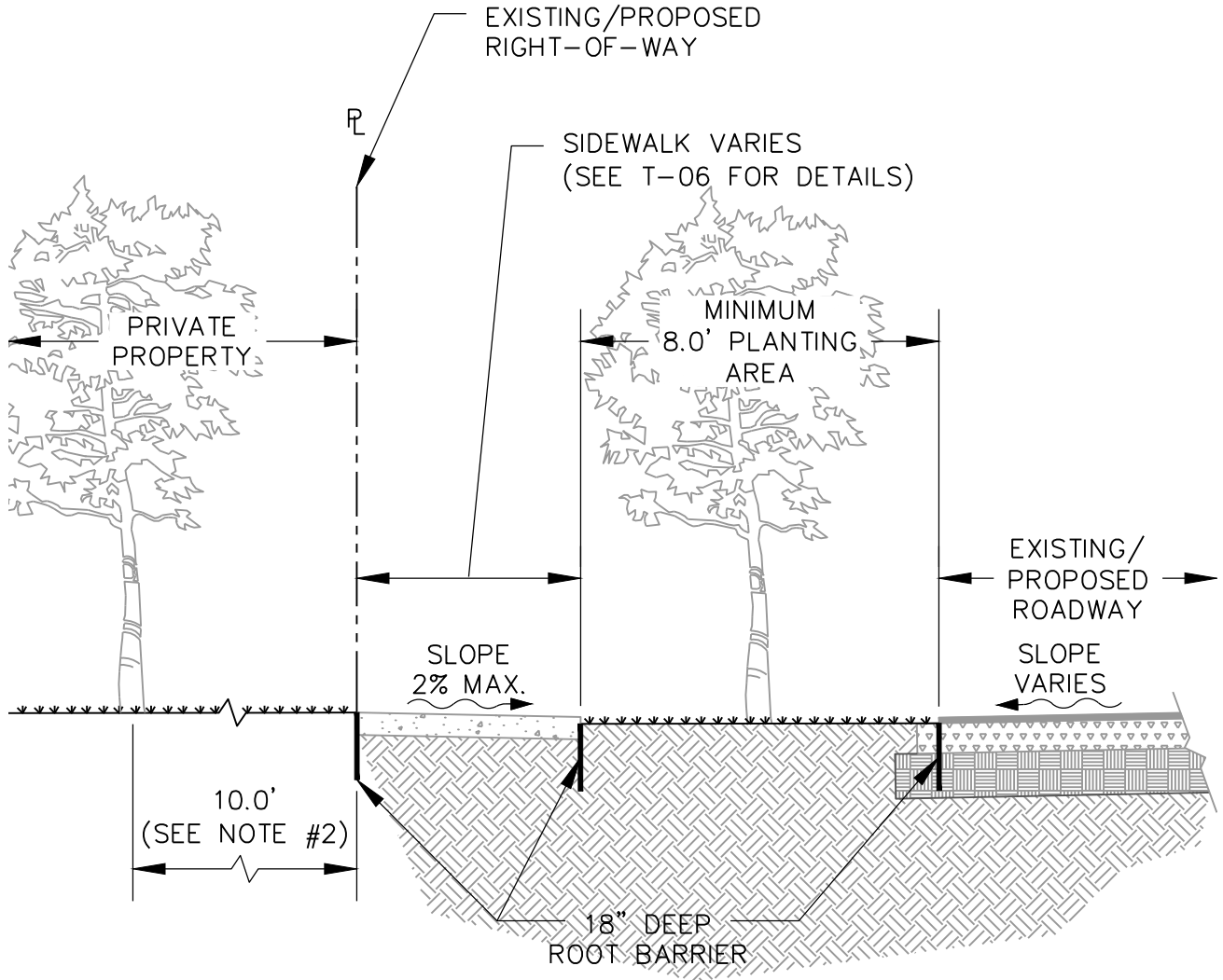


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**TYPICAL DETAILS
CITY OF DESTIN, FL**

SHEET TITLE			
LANDSCAPE SHRUBS			
REV	DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
	PROJECT NO: N/A	SCALE: N.T.S.	L-03



NOTE(S):

1. ROOT BARRIER TO BE INSTALLED TO PROTECT ROADWAYS AND SIDEWALKS.
2. ON PRIVATE PROPERTY, WHEN A TREE IS PLANTED WITHIN 10' OF A PROPERTY LINE ABUTTING A ROADWAY, A ROOT BARRIER SHALL BE INSTALLED ALONG THE PROPERTY LINE 10' LONG CENTERED ON THE TREE.



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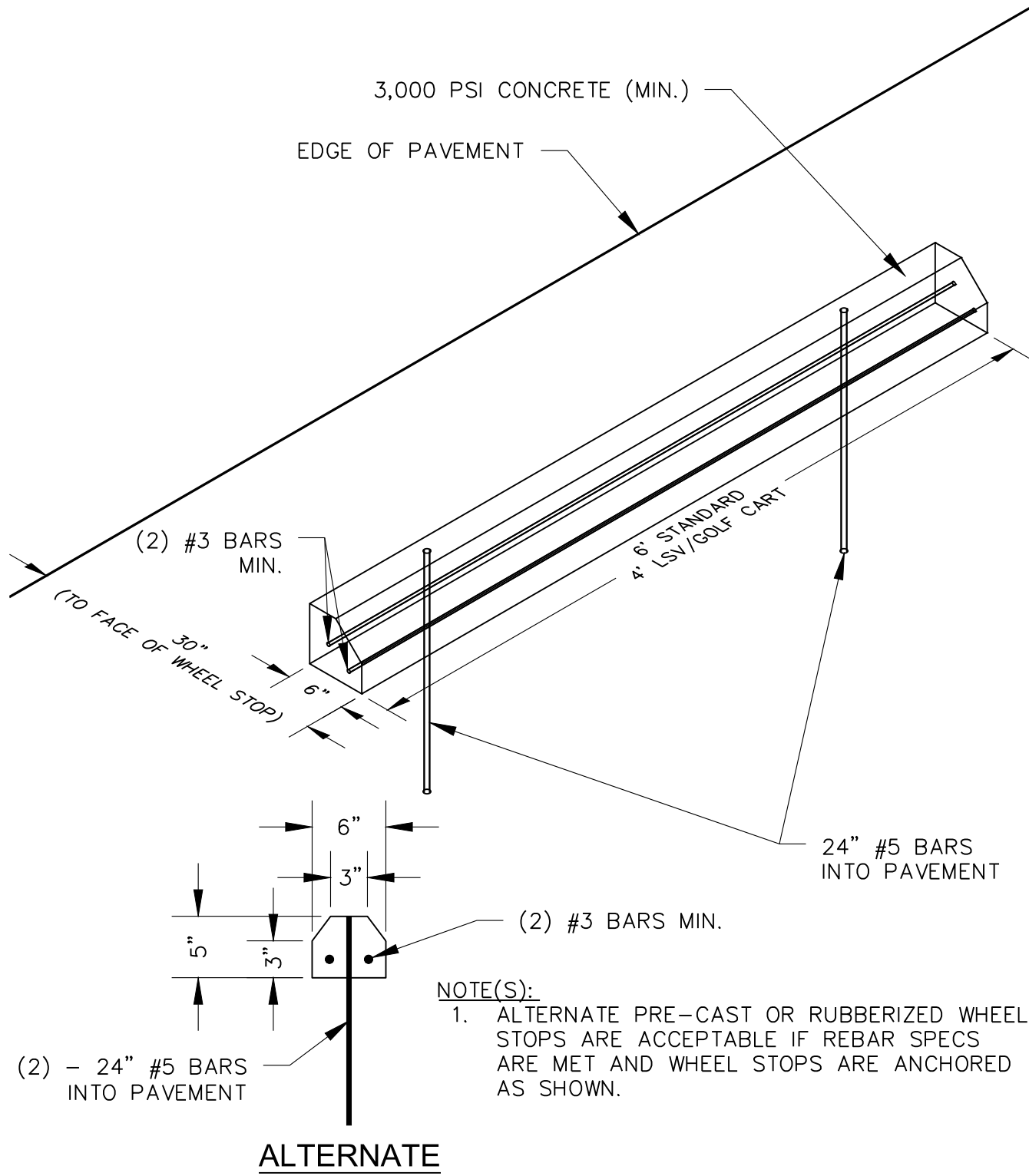
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**TYPICAL DETAILS
CITY OF DESTIN, FL**

SHEET TITLE
LANDSCAPE ROOT BARRIER

REV	DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
	PROJECT NO: N/A	SCALE: N.T.S.	L-04

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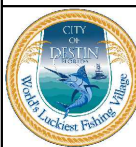
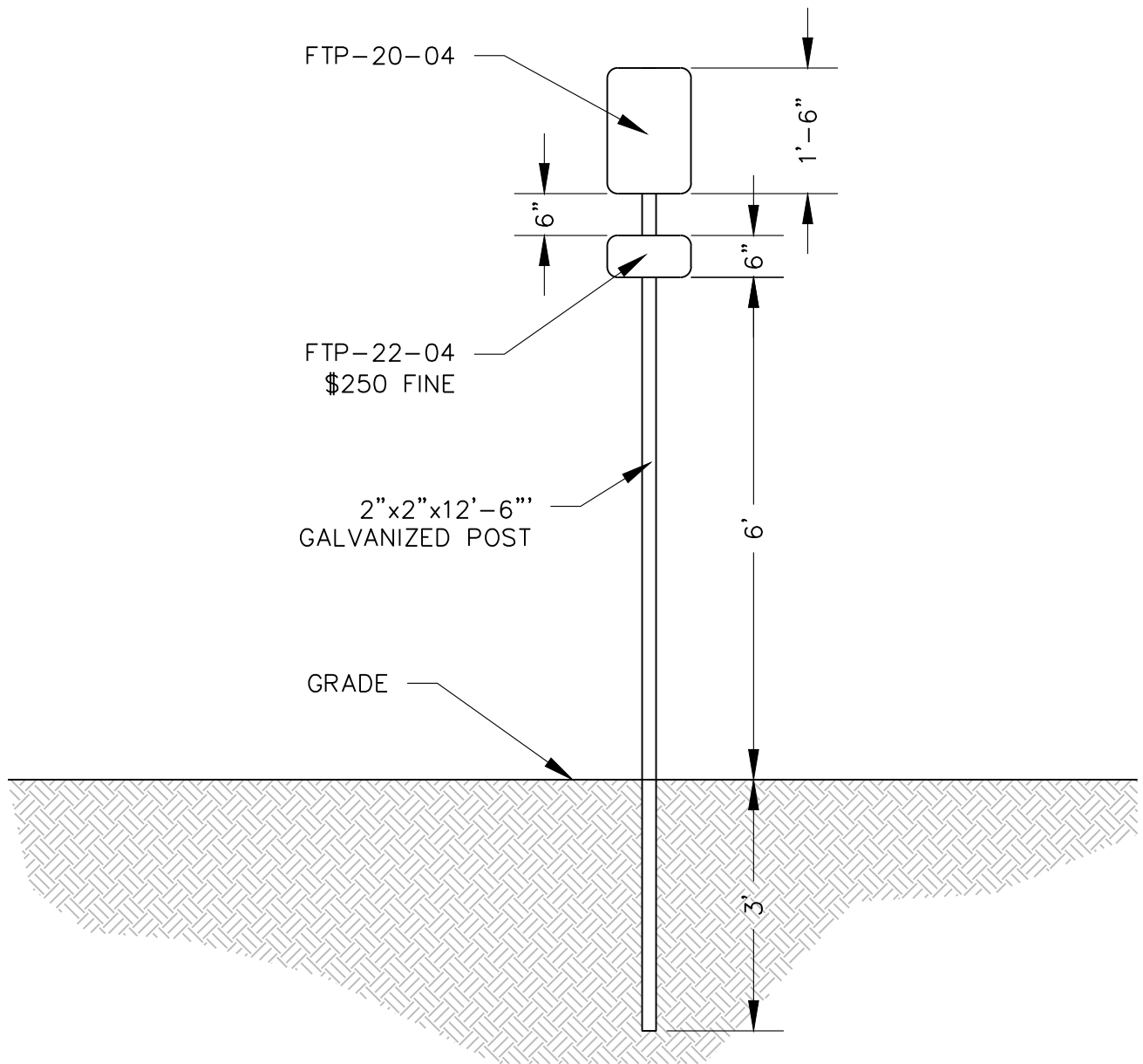
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TYPICAL DETAILS
CITY OF DESTIN, FL

SHEET TITLE
WHEEL STOP DETAIL

REV	DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
	PROJECT NO: N/A	SCALE: N.T.S.	P-01

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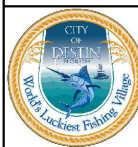
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SHEET TITLE
ADA SIGNAGE DETAIL

REV		DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
		PROJECT NO: N/A	SCALE: N.T.S.	P-02

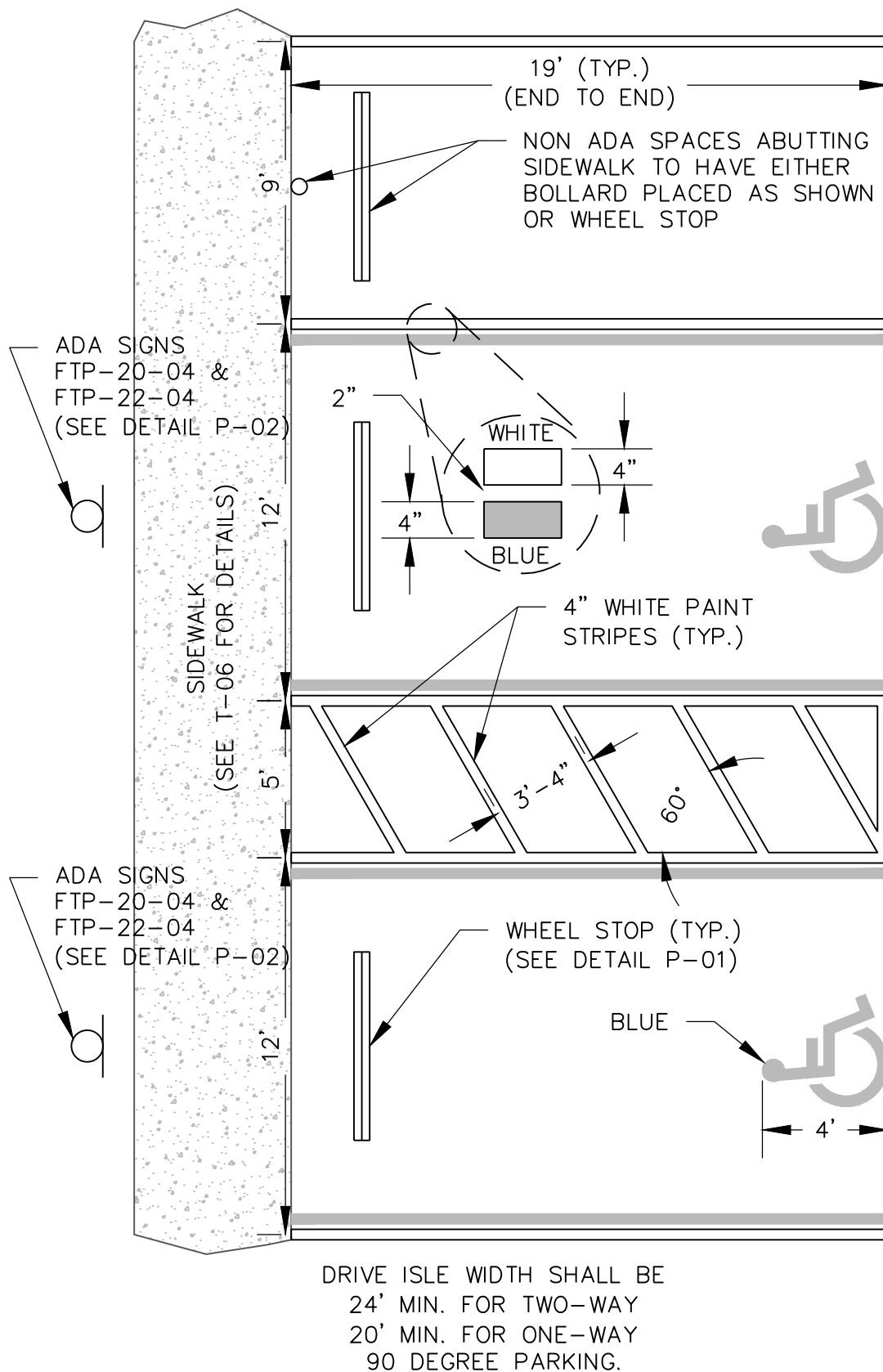


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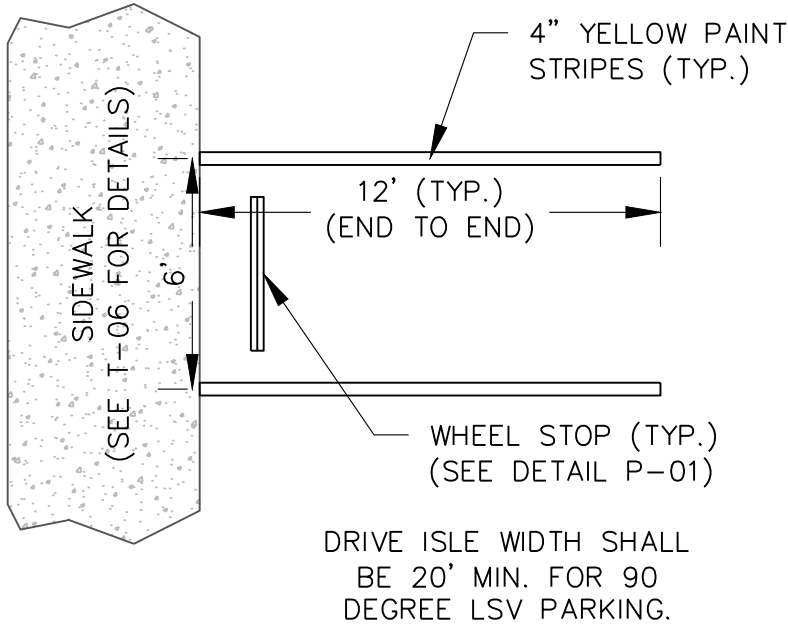
TYPICAL DETAILS CITY OF DESTIN, FL

SHEET TITLE			
90 DEGREE - ADA PARKING DETAIL			
	DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
	PROJECT NO: N/A	SCALE: N.T.S.	P-03

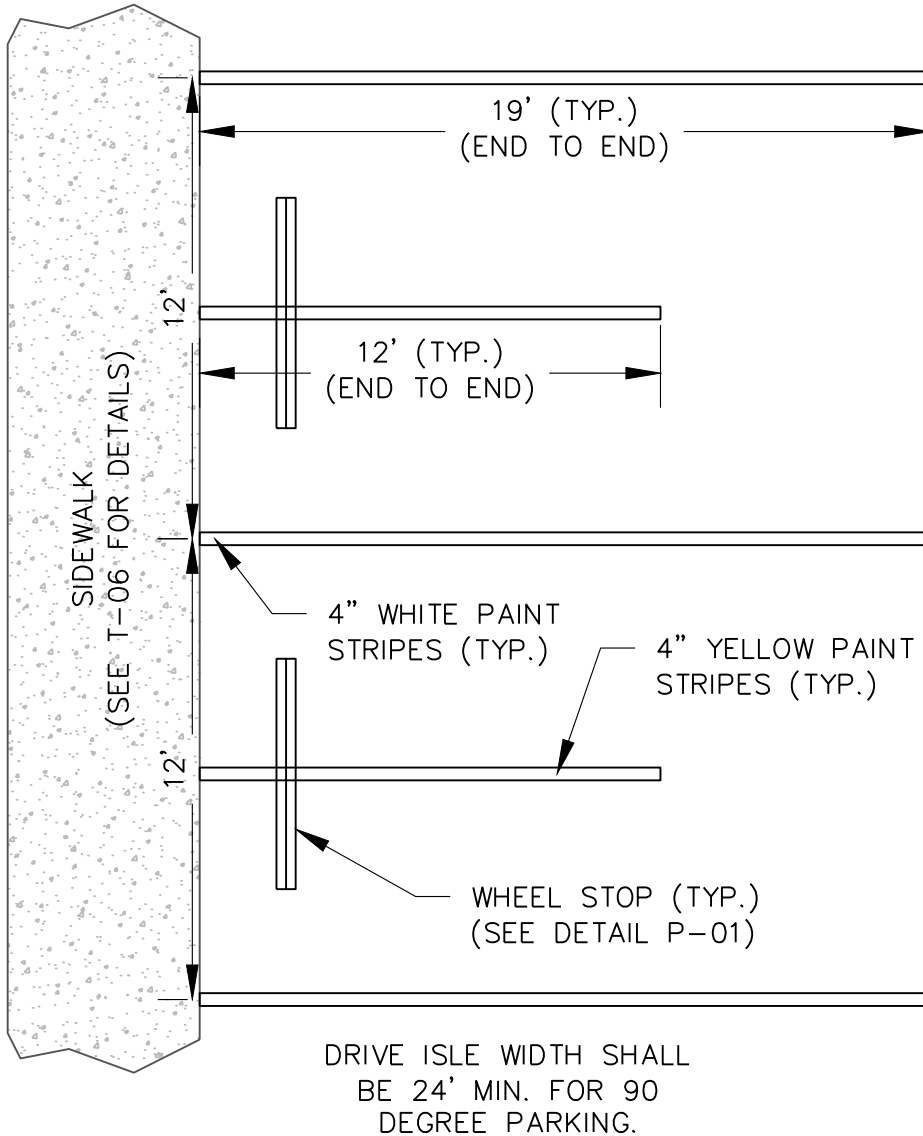


NOTE(S):

1. ALL MEASUREMENTS ARE FROM THE CENTER OF THE WHITE STRIPES (EXCEPT WHERE NOTED).
2. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH 15180 OF FEDERAL STANDARD 595a.
3. WHITE PAVEMENT MARKINGS SHALL MEET FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SIGNING, PAVEMENT MARKING AND LIGHTING SECTION.
4. THE FTP-22-04 PANEL SHALL BE MOUNTED BELOW THE FTP-20-04 SIGN.
5. FTP-22-04 TO HAVE \$250 FINE.
6. ALL PARKING WITHIN THE PUBLIC RIGHT-OF-WAY OR ON PUBLIC PROPERTIES SHALL BE THERMOPLASTIC.



LSV/GOLF CART PARKING OPTION



HYBRID PARKING OPTION

NOTE(S):

1. ALL MEASUREMENTS ARE FROM THE CENTER OF THE WHITE STRIPES (EXCEPT WHERE NOTED).
2. WHITE & YELLOW PAVEMENT MARKINGS SHALL MEET FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) CHAPTER 710 SIGNING, PAVEMENT MARKING AND LIGHTING SECTION.
3. ALL PARKING WITHIN THE PUBLIC RIGHT-OF-WAY OR ON PUBLIC PROPERTIES SHALL BE THERMOPLASTIC.

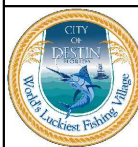


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TYPICAL DETAILS
CITY OF DESTIN, FL

SHEET TITLE			
LSV & HYBRID PARKING			
DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.	
PROJECT NO: N/A	SCALE: N.T.S.	P-04	



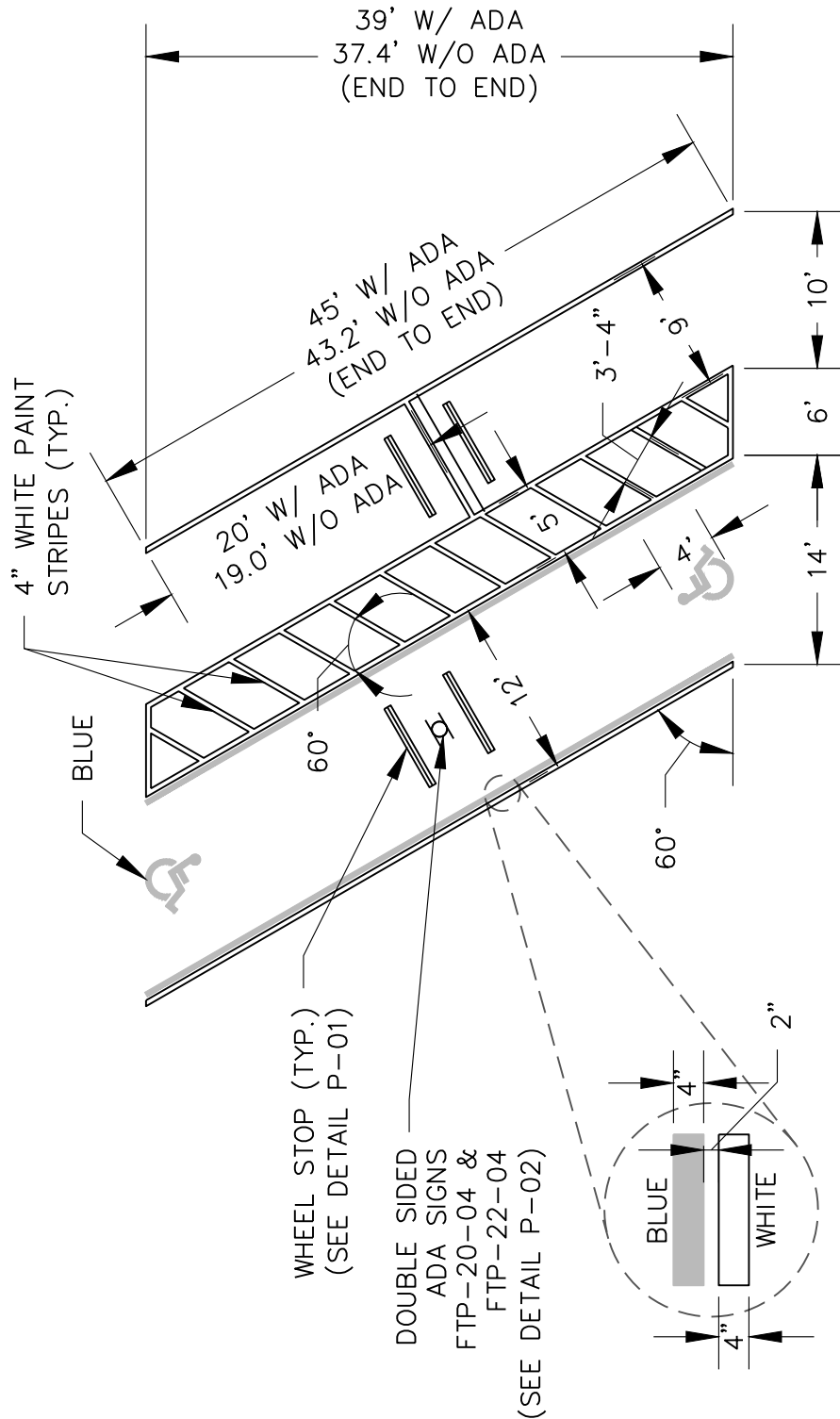
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TYPICAL DETAILS CITY OF DESTIN, FL

SHEET TITLE 60 DEGREE ANGLED PARKING DETAIL

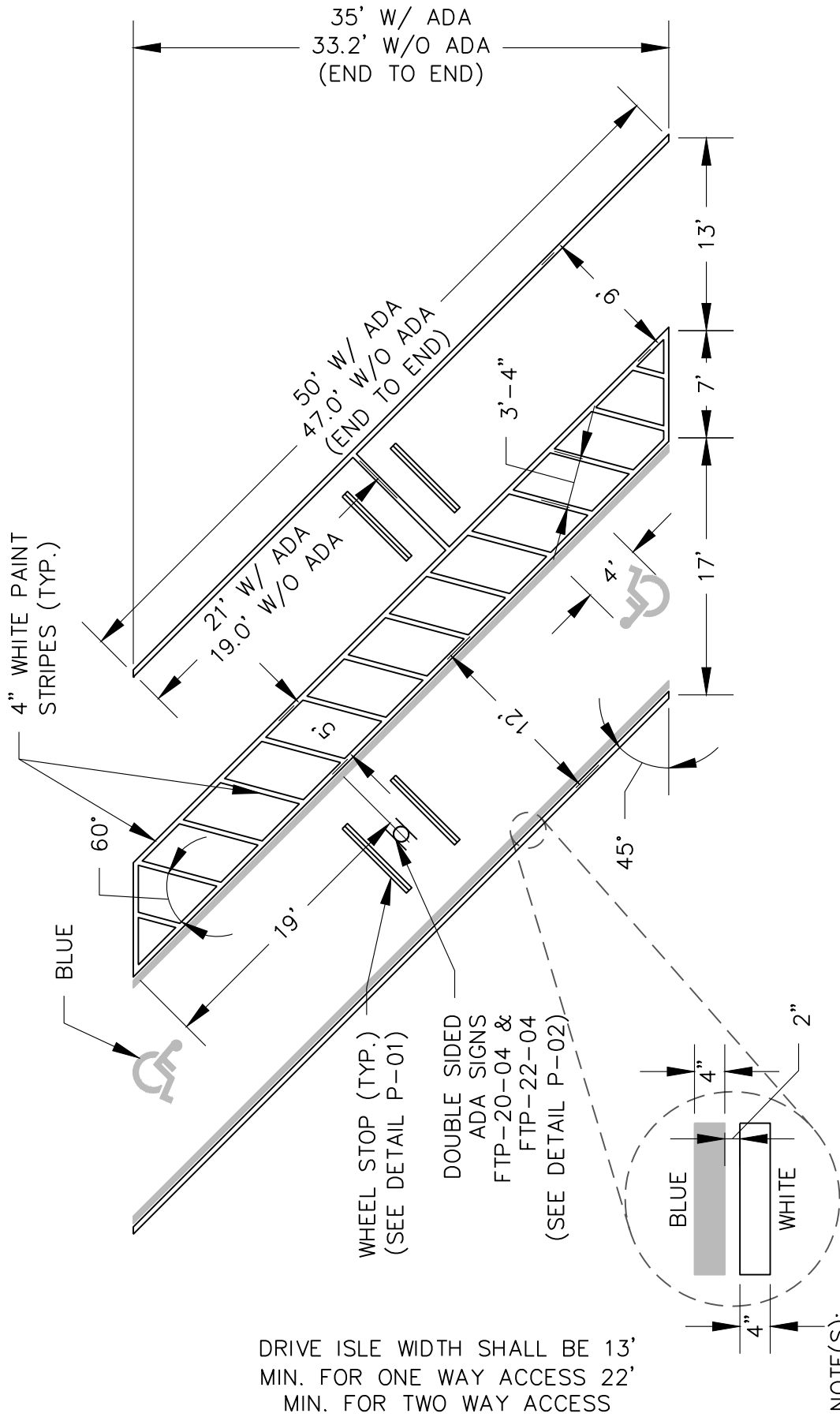
DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
PROJECT NO: N/A	SCALE: N.T.S.	P-05



DRIVE ISLE WIDTH SHALL BE 15'
MIN FOR ONE WAY ACCESS 22'
MIN. FOR TWO WAY ACCESS

NOTE(S):

1. ALL MEASUREMENTS ARE FROM THE CENTER OF THE WHITE STRIPES (EXCEPT WHERE NOTED).
2. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH 15180 OF FEDERAL STANDARD 595a.
3. WHITE PAVEMENT MARKINGS SHALL MEET FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SIGNING, PAVEMENT MARKING AND LIGHTING SECTION.
4. THE FTP-22-04 PANEL SHALL BE MOUNTED BELOW THE FTP-20-04 SIGN.
5. FTP-22-04 TO HAVE \$250 FINE.
6. ALL PARKING WITHIN THE PUBLIC RIGHT-OF-WAY OR ON PUBLIC PROPERTIES SHALL BE THERMOPLASTIC.



NOTE(S):

1. ALL MEASUREMENTS ARE FROM THE CENTER OF THE WHITE STRIPES (EXCEPT WHERE NOTED).
2. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH 15180 OF FEDERAL STANDARD 595a.
3. WHITE PAVEMENT MARKINGS SHALL MEET FOOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SIGNING, PAVEMENT MARKING AND LIGHTING SECTION.
4. THE FTP-22-04 PANEL SHALL BE MOUNTED BELOW THE FTP-20-04 SIGN.
5. FTP-22-04 TO HAVE \$250 FINE.
6. ALL PARKING WITHIN THE PUBLIC RIGHT-OF-WAY OR ON PUBLIC PROPERTIES SHALL BE THERMOPLASTIC.



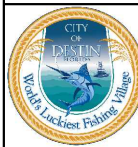
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TYPICAL DETAILS
CITY OF DESTIN, FL

SHEET TITLE
45 DEGREE ANGLED
PARKING DETAIL

DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
PROJECT NO: N/A	SCALE: N.T.S.	P-06



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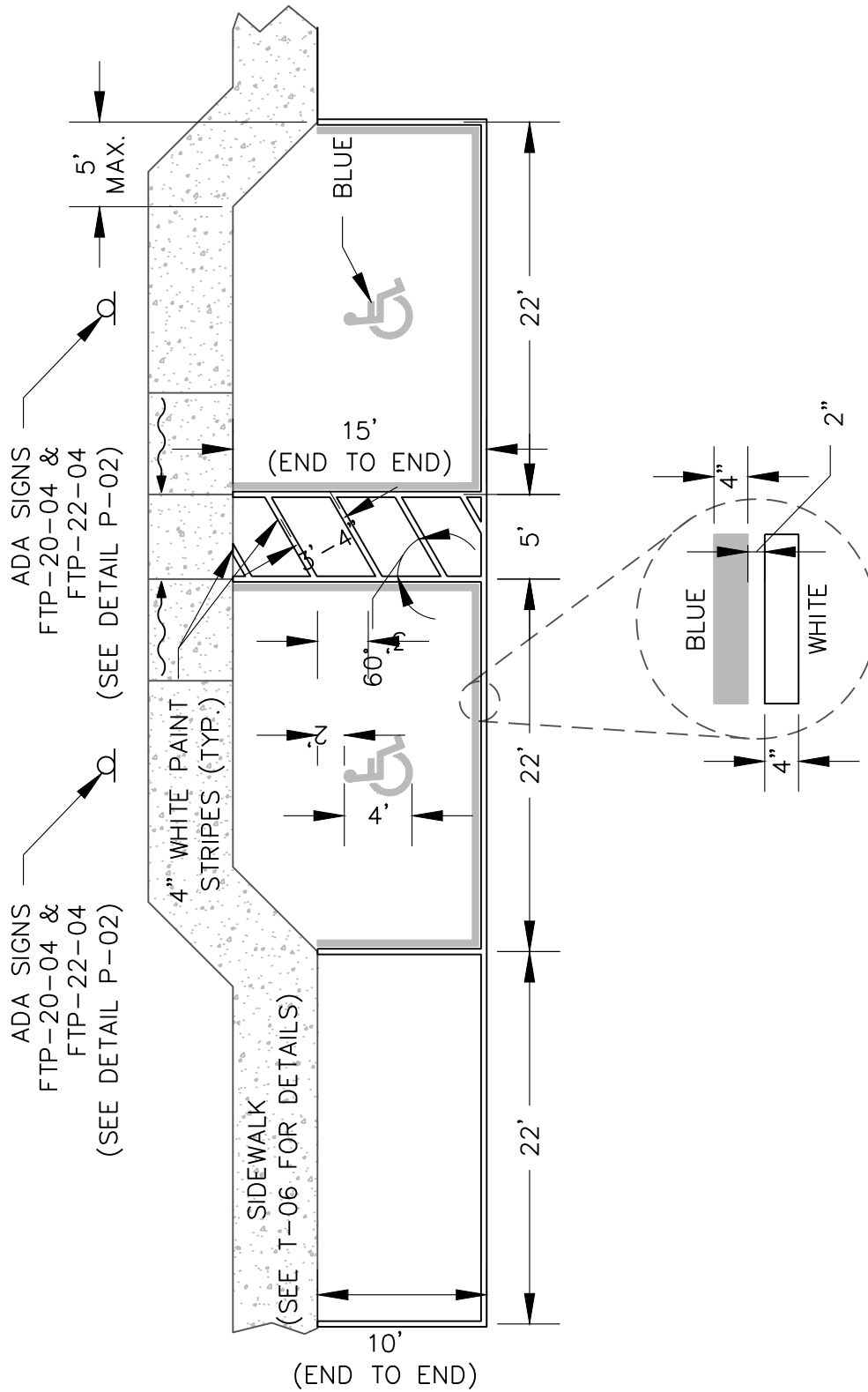
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**TYPICAL DETAILS
CITY OF DESTIN, FL**

SHEET TITLE

PARALLEL PARKING DETAIL

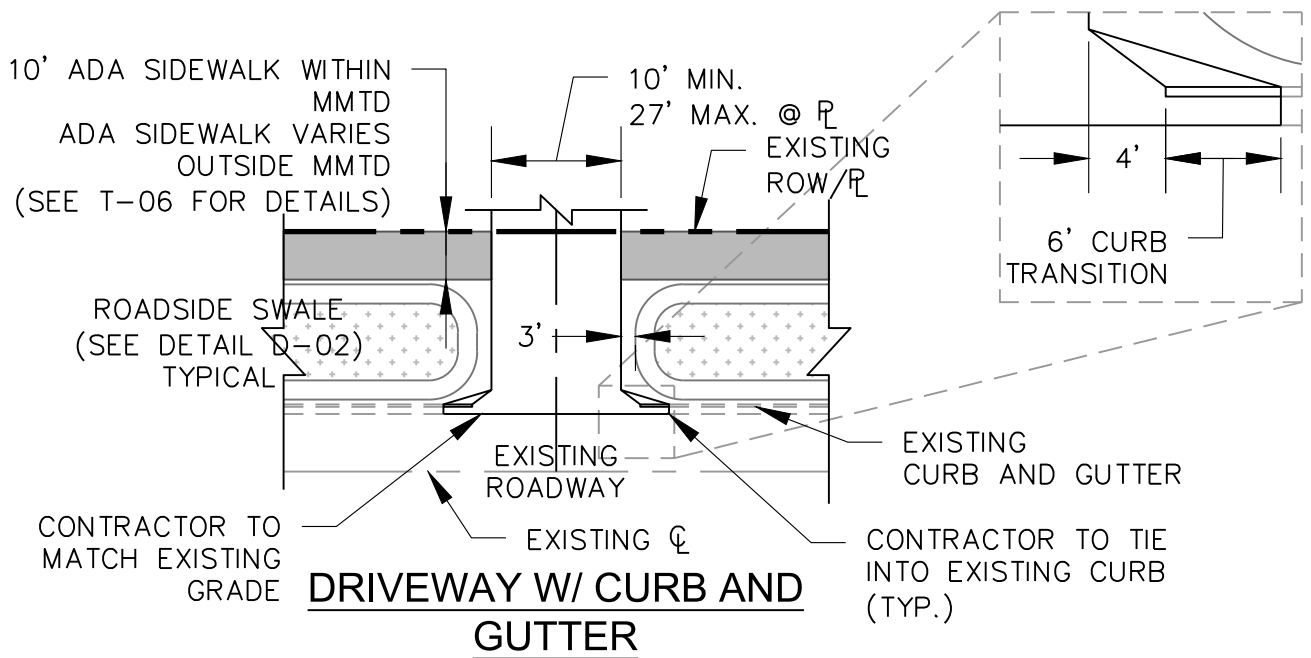
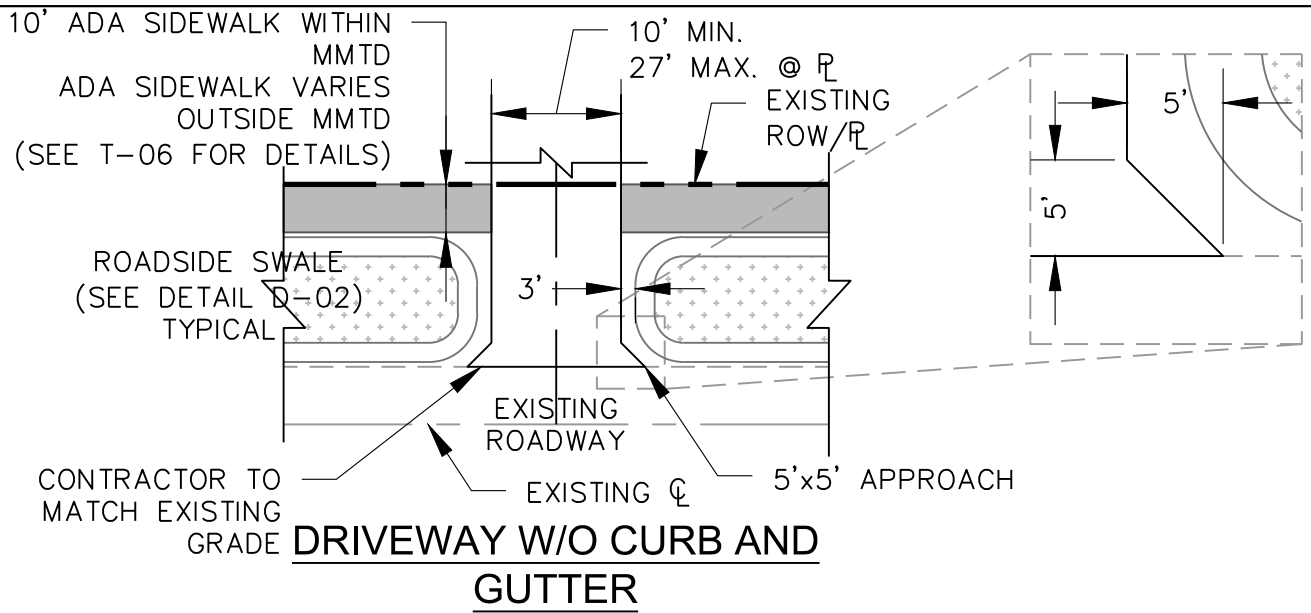
DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
PROJECT NO: N/A	SCALE: N.T.S.	P-07



DRIVE ISLE WIDTH SHALL BE
12' MIN. FOR ONE WAY ACCESS
21' MIN. FOR TWO WAY ACCESS

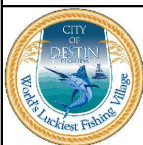
NOTE(S):

- ALL MEASUREMENTS ARE FROM THE CENTER OF THE WHITE STRIPES (EXCEPT WHERE NOTED).
- BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH 15180 OF FEDERAL STANDARD 595a.
- WHITE PAVEMENT MARKINGS SHALL MEET FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SIGNING, PAVEMENT MARKING AND LIGHTING SECTION.
- THE FTP-22-04 PANEL SHALL BE MOUNTED BELOW THE FTP-20-04 SIGN.
- FTP-22-04 TO HAVE \$250 FINE.
- ALL PARKING WITHIN THE PUBLIC RIGHT-OF-WAY OR ON PUBLIC PROPERTIES SHALL BE THERMOPLASTIC.



NOTE(S):

1. THE DRIVEWAY MUST BE PAVED WITH CONCRETE OR ASPHALT AND MEET THE CONNECTING ROAD.
2. THE DRIVEWAY SHALL BE DESIGNED FOR PROPER DRAINAGE.
3. INSPECTION REQUIRED BY ENGINEERING DIVISION AFTER FORMING AND BEFORE PLACING SIDEWALK.
4. NO PATCHING OF ANY KIND WILL BE ALLOWED IN CONCRETE WORK WITHIN THE ROW.
5. DRIVEWAYS ONTO STATE & COUNTY ROADS WILL REQUIRE A FDOT AND COUNTY PERMITS.
6. DRIVEWAY CULVERT CROSSING MAY BE REQUIRED.
7. ALL SIDEWALKS CROSSING DRIVEWAYS TO HAVE A MAXIMUM CROSS SLOPE OF 2%.



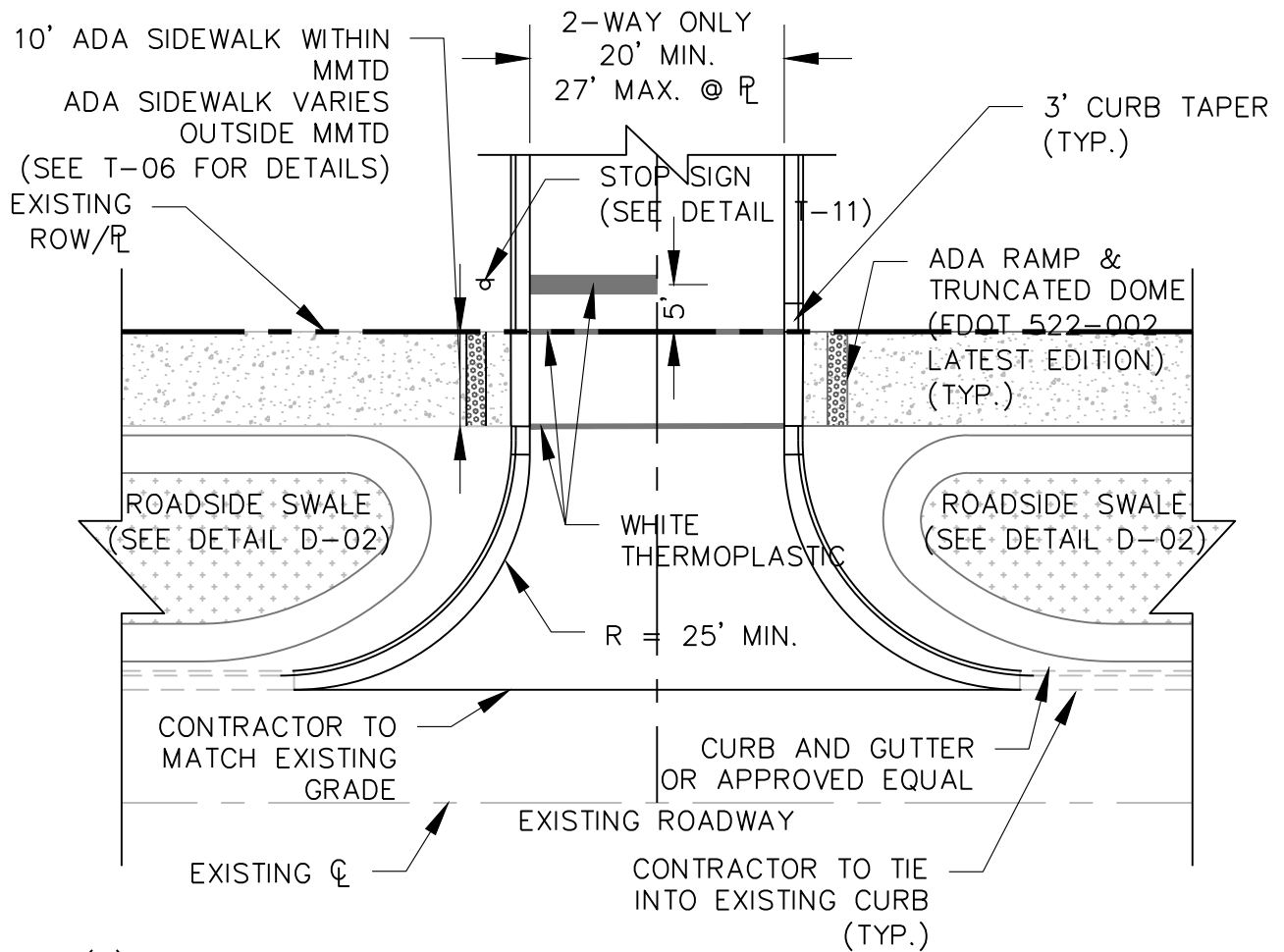
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**TYPICAL DETAILS
CITY OF DESTIN, FL**

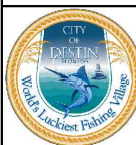
SHEET TITLE			
RESIDENTIAL DRIVEWAY - SIDEWALK			
DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.	
PROJECT NO: N/A	SCALE: N.T.S.	T-01	

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NOTE(S):

1. THE DRIVEWAY MUST BE PAVED WITH CONCRETE OR ASPHALT AND MEET THE CONNECTING ROAD.
2. THE DRIVEWAY SHALL BE DESIGNED FOR PROPER DRAINAGE.
3. INSPECTION REQUIRED BY ENGINEERING DIVISION AFTER FORMING AND BEFORE PLACING SIDEWALK.
4. NO PATCHING OF ANY KIND WILL BE ALLOWED IN CONCRETE WORK WITHIN THE ROW.
5. DRIVEWAYS ONTO STATE & COUNTY ROADS WILL REQUIRE A FDOT AND COUNTY PERMITS.
6. DRIVEWAY CULVERT CROSSING MAY BE REQUIRED.
7. ALL SIDEWALKS CROSSING DRIVEWAYS TO HAVE A MAXIMUM CROSS SLOPE OF 2%.



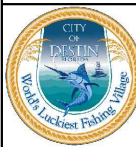
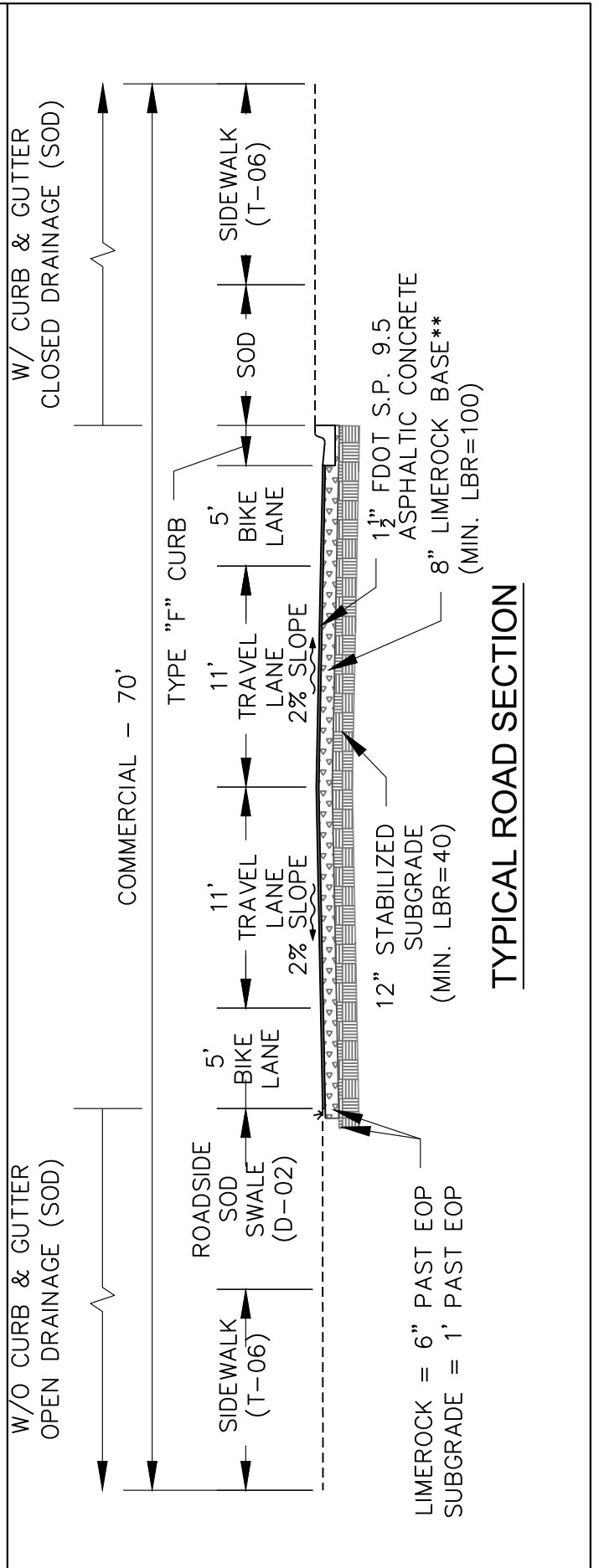
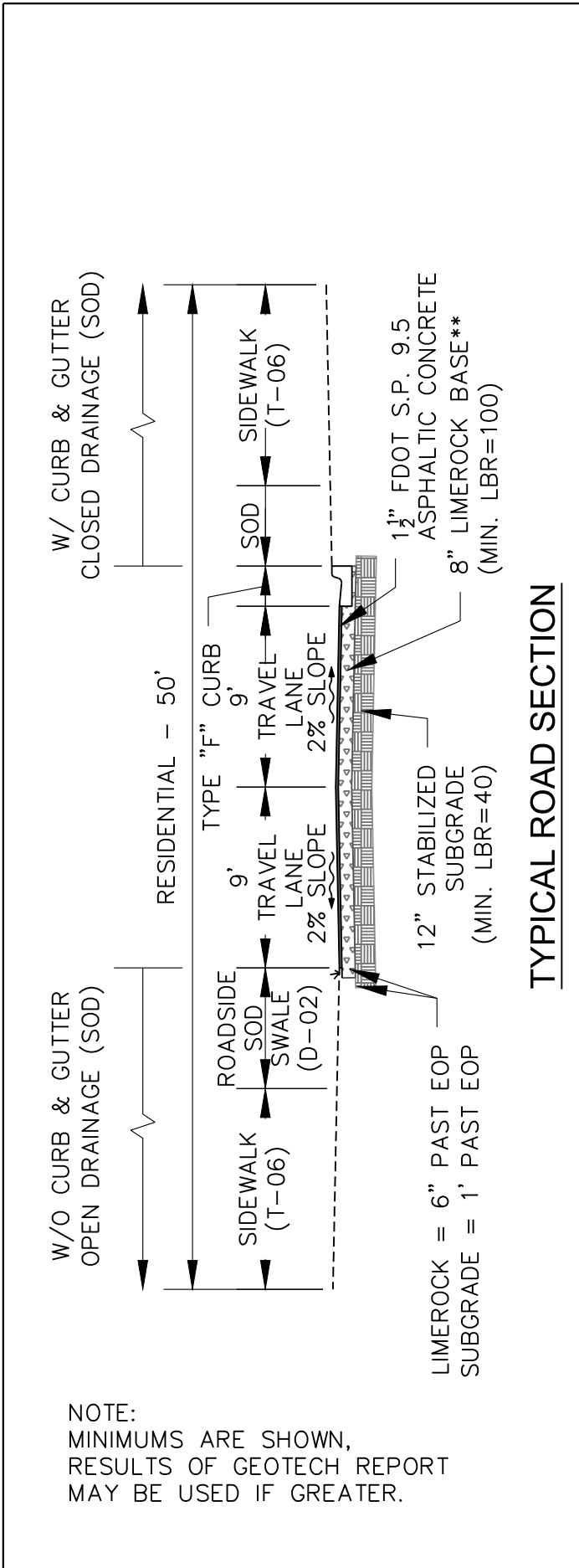
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**TYPICAL DETAILS
CITY OF DESTIN, FL**

**COMMERCIAL - MULTI-FAMILY
DRIVEWAY - SIDEWALK**

REV	SHEET TITLE		SHEET NO.
	DATE:	FILE NO.:	
	MARCH 2023	N/A	T-02
	PROJECT NO:	SCALE:	
	N/A	N.T.S.	



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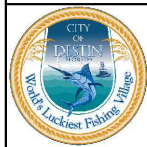
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TYPICAL DETAILS CITY OF DESTIN, FL

REV

SHEET TITLE ROW-LOCAL

DATE: MARCH 2023	FILE NO.: N/A	SHEET NO. T-03
PROJECT NO: N/A	SCALE: N.T.S.	



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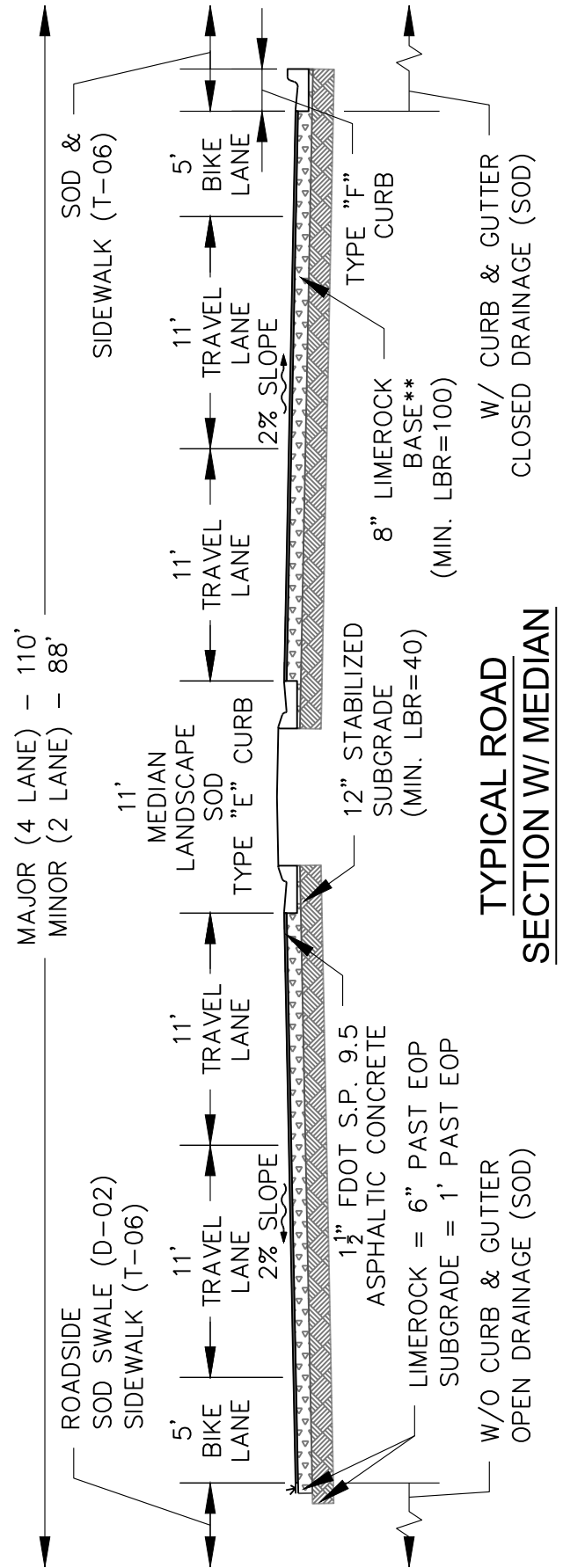
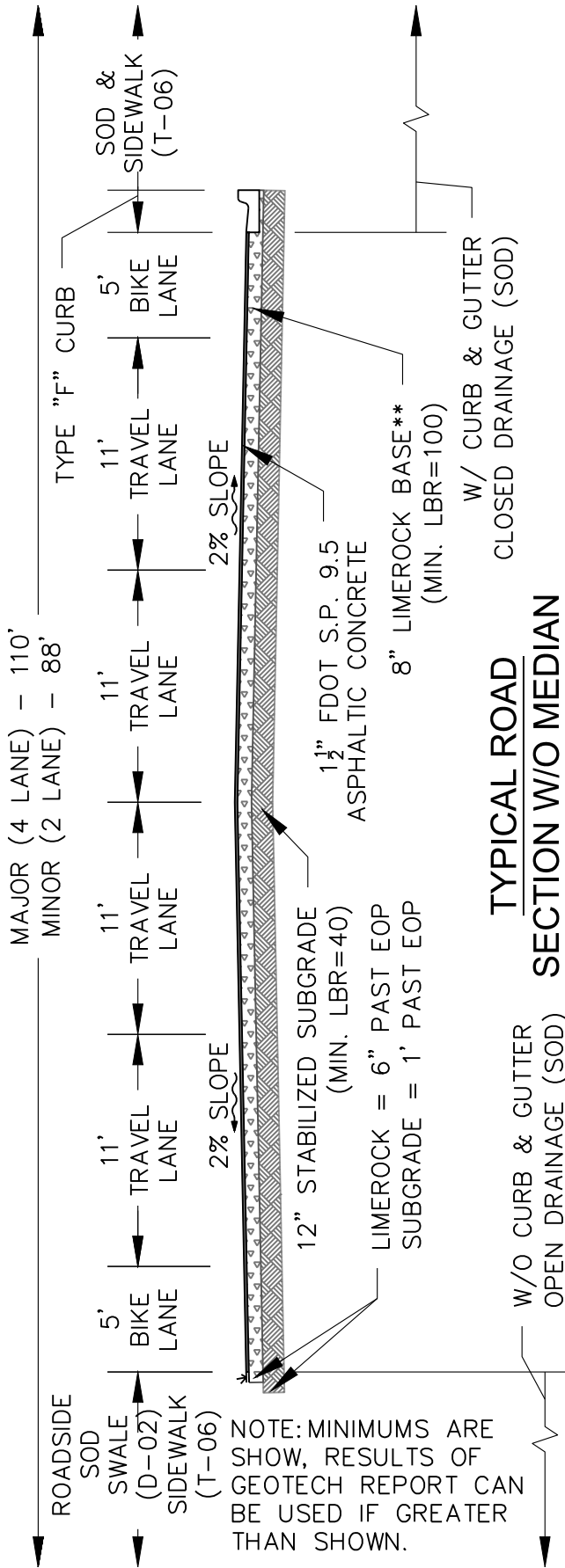
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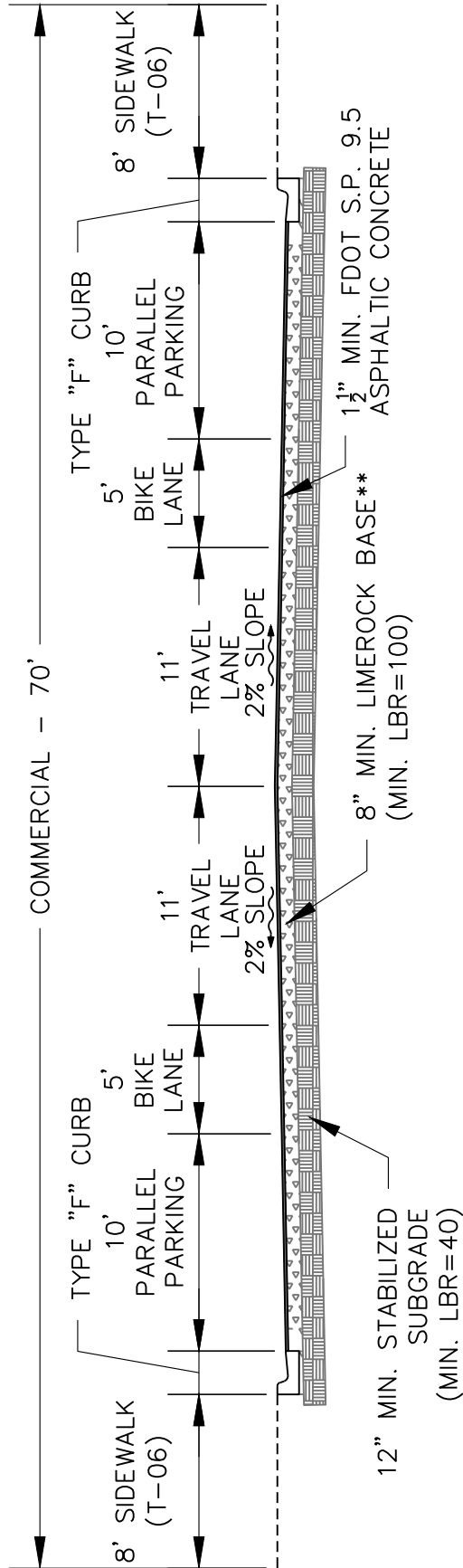
TYPICAL DETAILS CITY OF DESTIN, FL

REV

ROW-COLLECTOR

DATE: MARCH 2023	FILE NO.: N/A	SHEET NO. T-04
PROJECT NO: N/A	SCALE: N.T.S.	





TYPICAL ROAD SECTION W/ PARALLEL PARKING

NOTE:
INCLUDING RECYCLED CONCRETE
AGGREGATE (RCA) AS OUTLINED IN
FDOT STANDARD SPECIFICATIONS FOR
ROAD & BRIDGE, SECTION 911-2.7



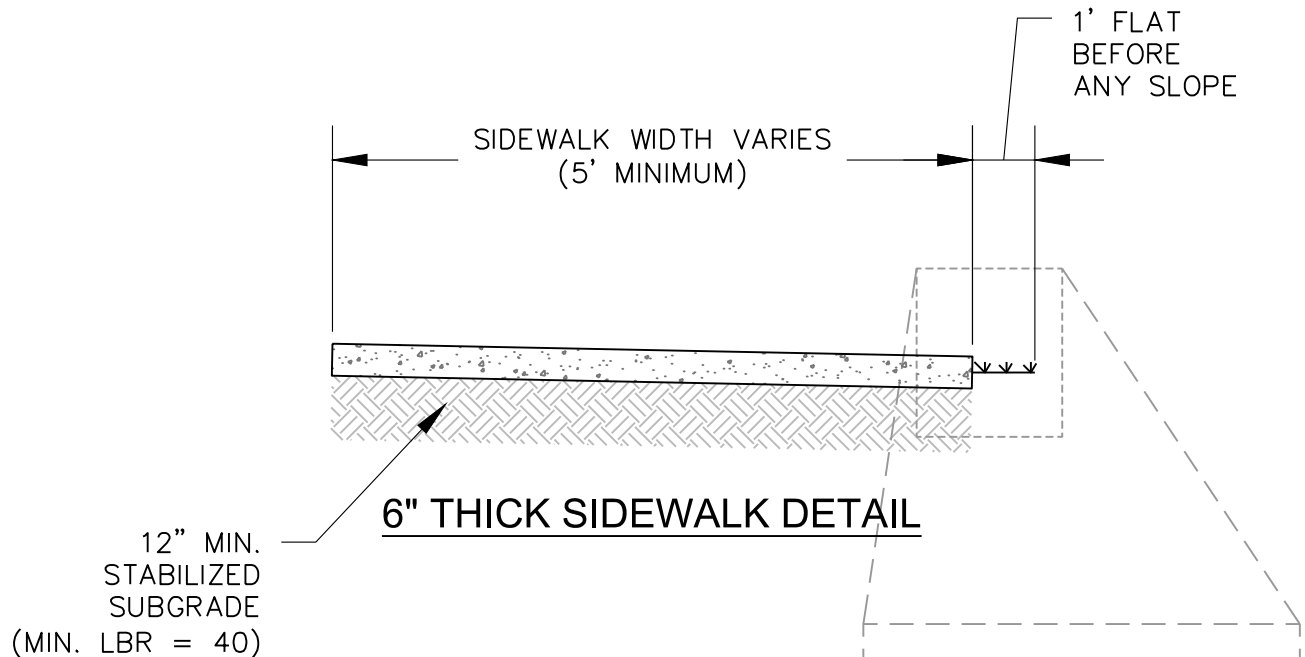
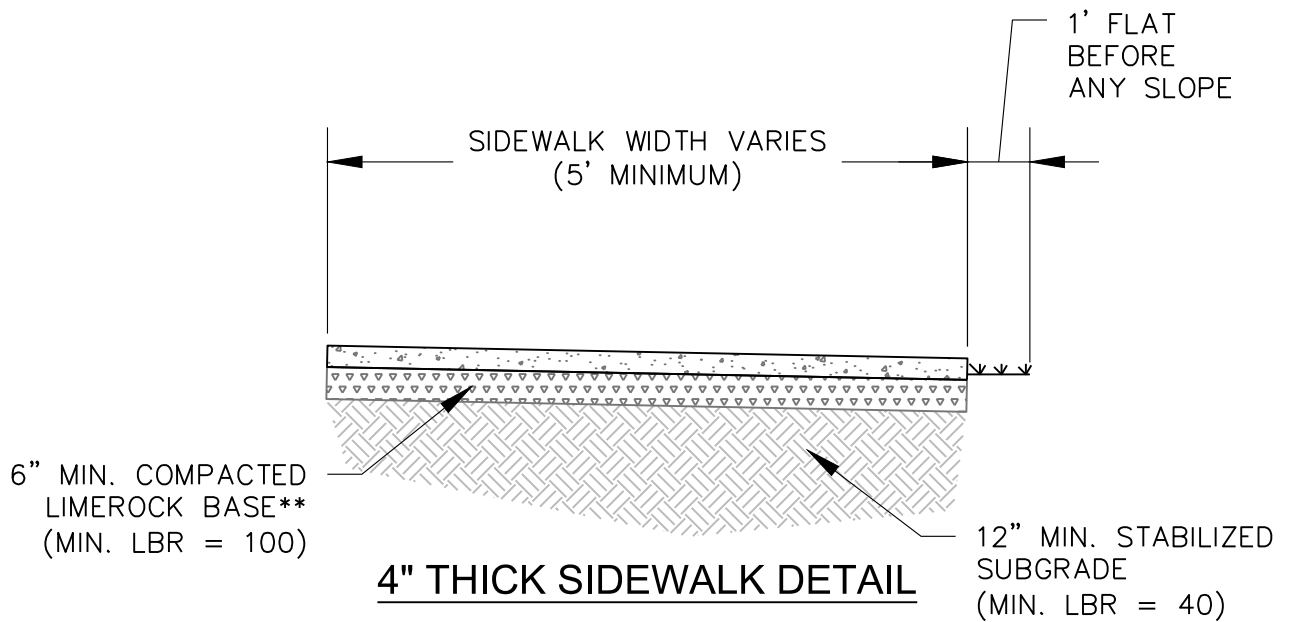
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**TYPICAL DETAILS
CITY OF DESTIN, FL**

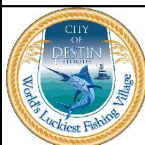
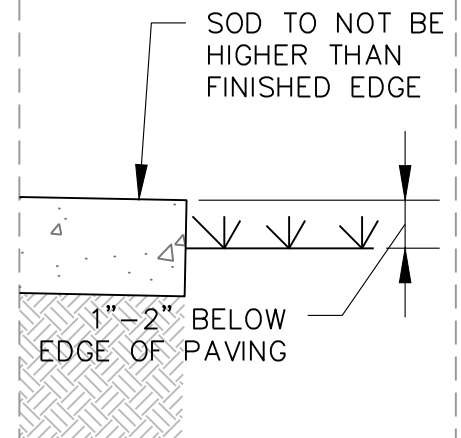
SHEET TITLE				
ROW-LOCAL-COMMERCIAL WITH PARKING				
CITY		DATE: MARCH 2023	FILE NO.: N/A	SHEET NO. T-05
		PROJECT NO: N/A	SCALE: N.T.S.	

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NOTE(S):

1. ALL SIDEWALKS TO HAVE A CROSS SLOPE OF 2% MAX. IN THE DIRECTION OF THE DRAINAGE FLOW.
2. CONCRETE TO BE 3,500 PSI WITH CONTRACTION JOINTS AT INTERVALS OF THE WIDTH OF THE SIDEWALK.
3. CONCRETE TO CONTAIN FIBER REINFORCEMENT ($\frac{3}{4}$ LB/CY).



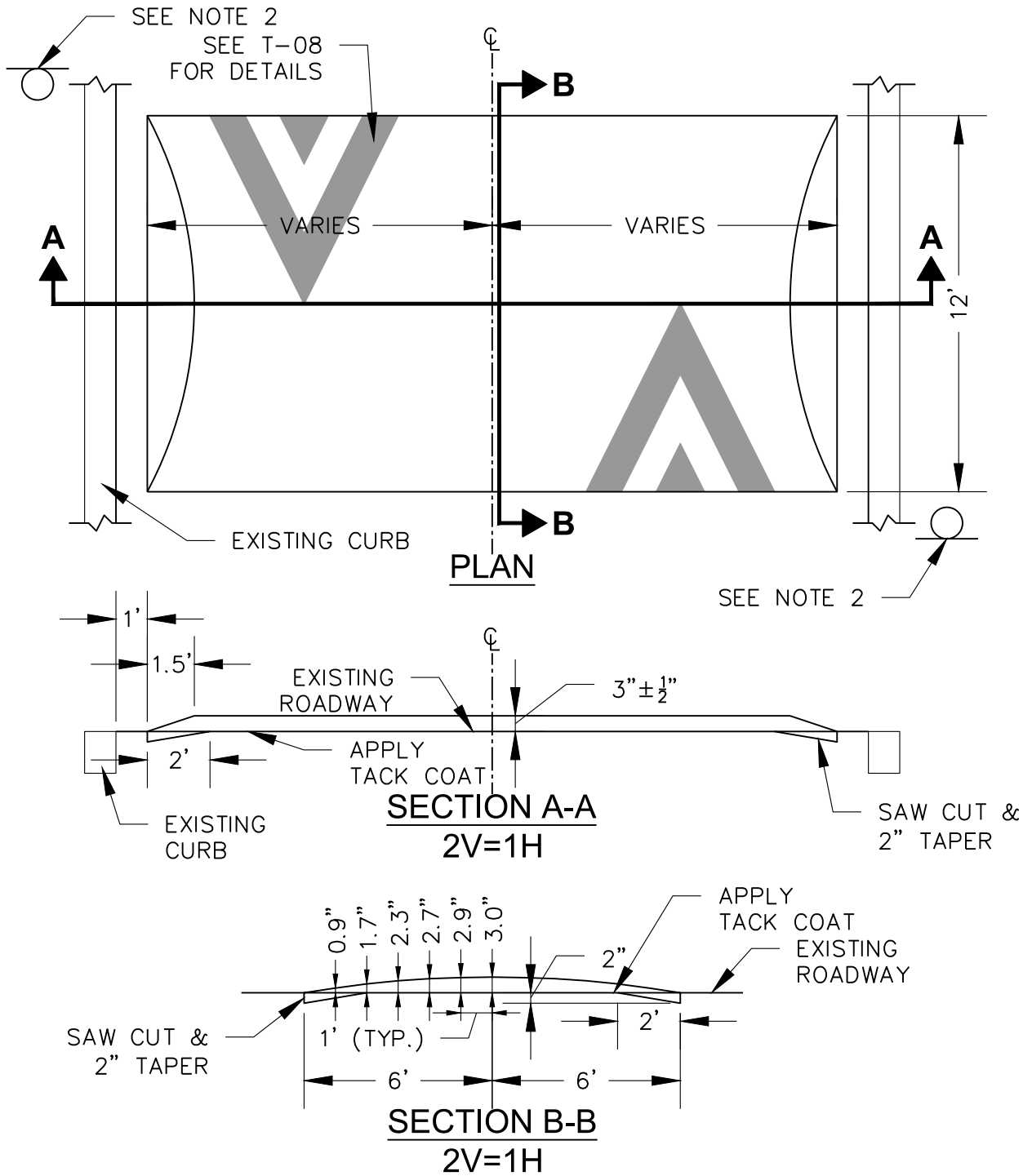
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TYPICAL DETAILS
CITY OF DESTIN, FL

SHEET TITLE
SIDEWALK DETAILS

REV	DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
	PROJECT NO: N/A	SCALE: N.T.S.	T-06



NOTE(S):

1. ALL SIGNING AND STRIPING SHALL CONFORM TO THE MUTCD (LATEST EDITION).
2. SPEED HUMP (W17-1) 30"x30".
3. CONTRACTOR TO COORDINATE WITH PUBLIC WORKS DIRECTOR TO DETERMINE IF IT IS NECESSARY TO INSTALL ADDITIONAL ADVISORY SIGNS TO BE INSTALLED 150' IN FRONT OF SPEED HUMP SIGNS.



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TYPICAL DETAILS
CITY OF DESTIN, FL

REV

DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
PROJECT NO: N/A	SCALE: N.T.S.	T-07

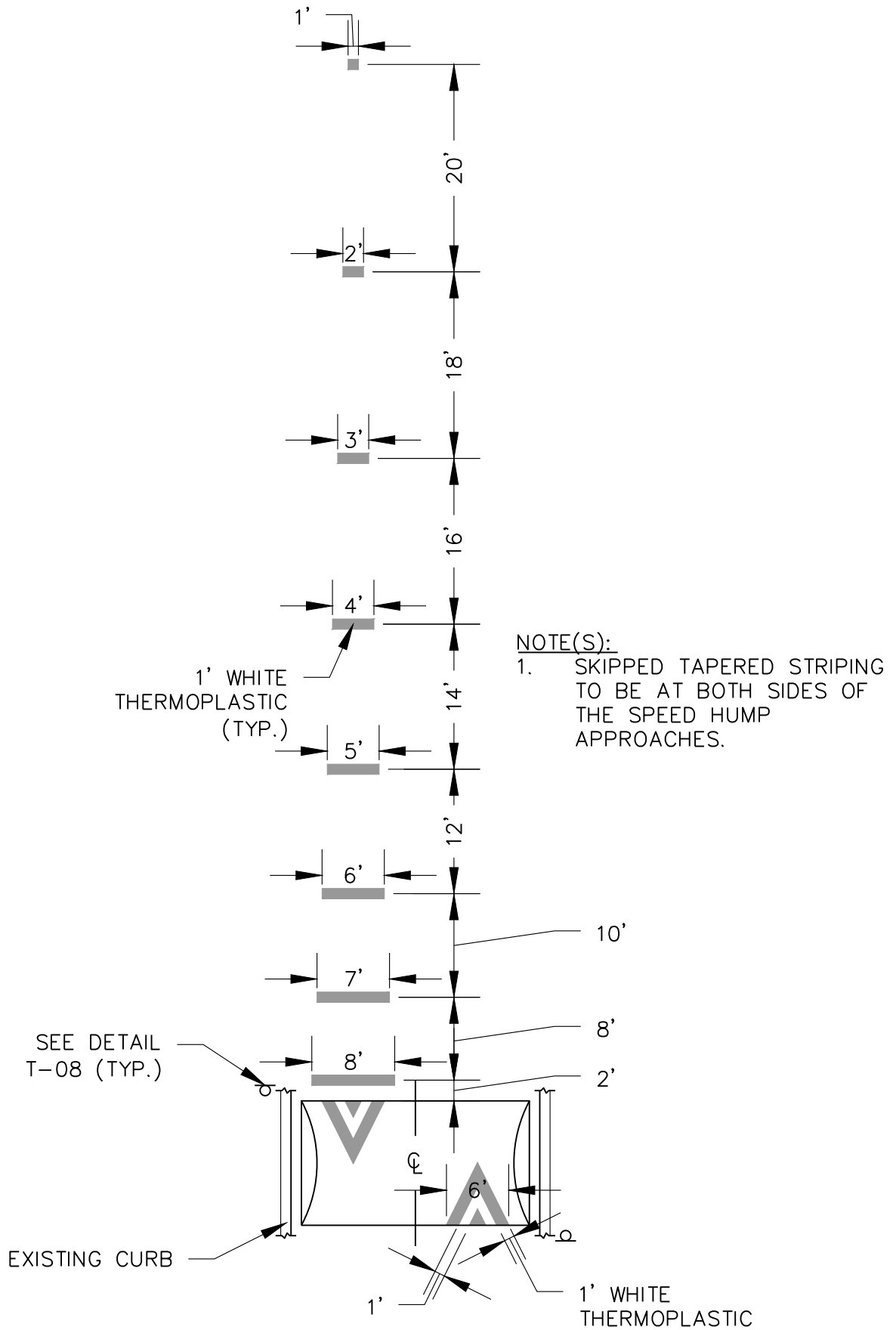
SHEET TITLE

SPEED HUMP

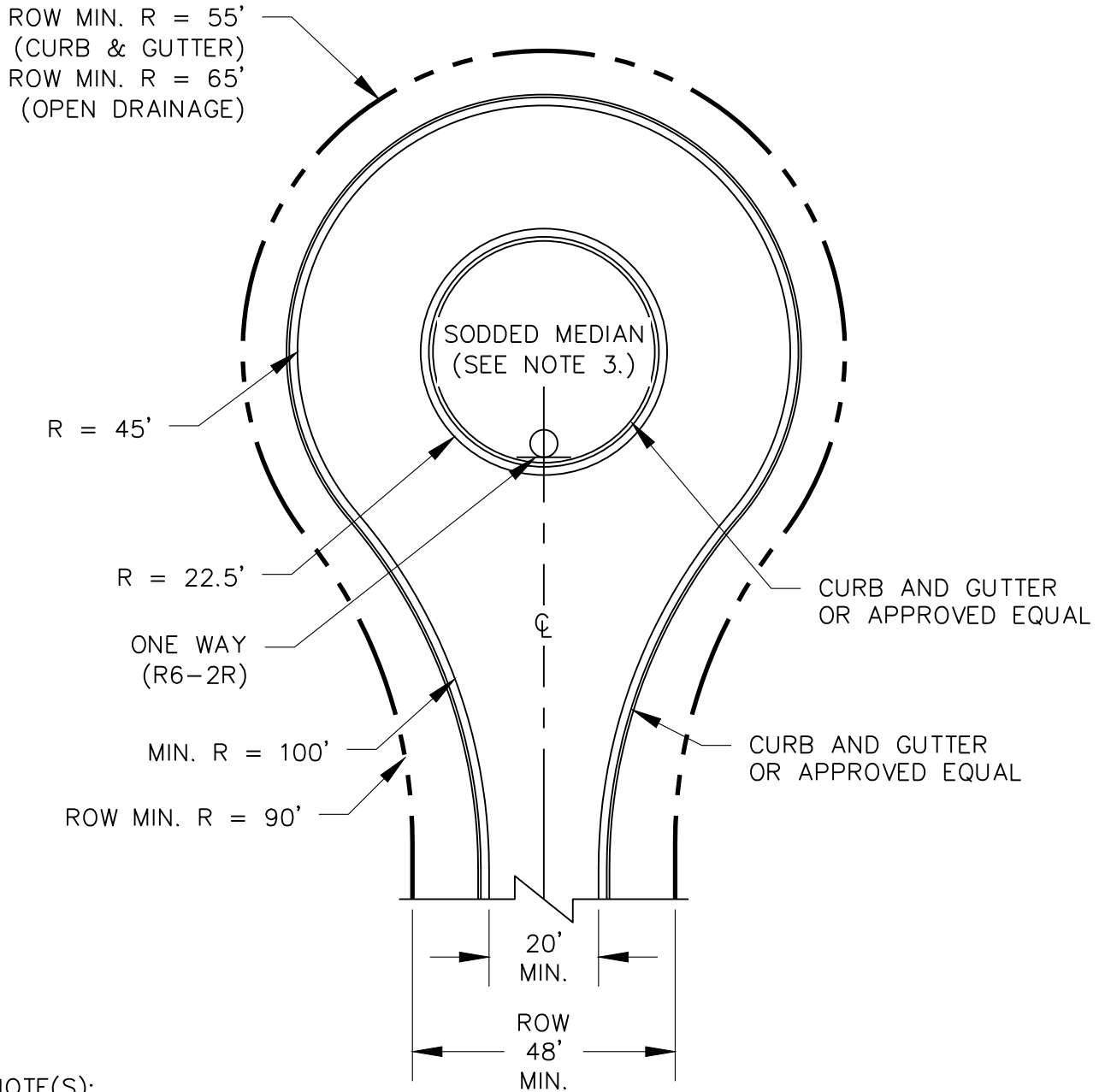
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R E V	

DATE: MARCH 2023	FILE NO.: N/A	SHEET NO. T-08
PROJECT NO: N/A	SCALE: N.T.S.	



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NOTE(S):

1. THE CUL-DE-SAC MUST BE PAVED WITH CONCRETE OR ASPHALT AND MEET THE CONNECTING ROAD.
2. THE CUL-DE-SAC SHALL BE DESIGNED FOR PROPER DRAINAGE.
3. CURBED ISLAND WITH ASSOCIATED LANDSCAPING AND SODDING IS OPTIONAL. IF A CURBED LANDSCAPE ISLAND IS DESIRED THE HOMEOWNERS ASSOCIATION AND/OR ABUTTING LANDOWNERS SHALL AGREE TO A MAINTENANCE AGREEMENT. CITY WILL NOT BE RESPONSIBLE FOR ONGOING MAINTENANCE FOR THE ISLAND CURBING AND LANDSCAPING.
4. CUL-DE-SAC OR HAMMERHEAD (T-10) ARE REQUIRED FOR ANY FIRE ACCESS LANES TERMINATING GREATER THAN 150 FEET. IN LIEU OF THIS, A FIRE SPRINKLER SYSTEM SHALL BE INSTALLED WITHIN A BUILDING AFTER THE 150 FEET. (FLORIDA FIRE PREVENTION CODE (FFPC) (CURRENT ADOPTED EDITION))



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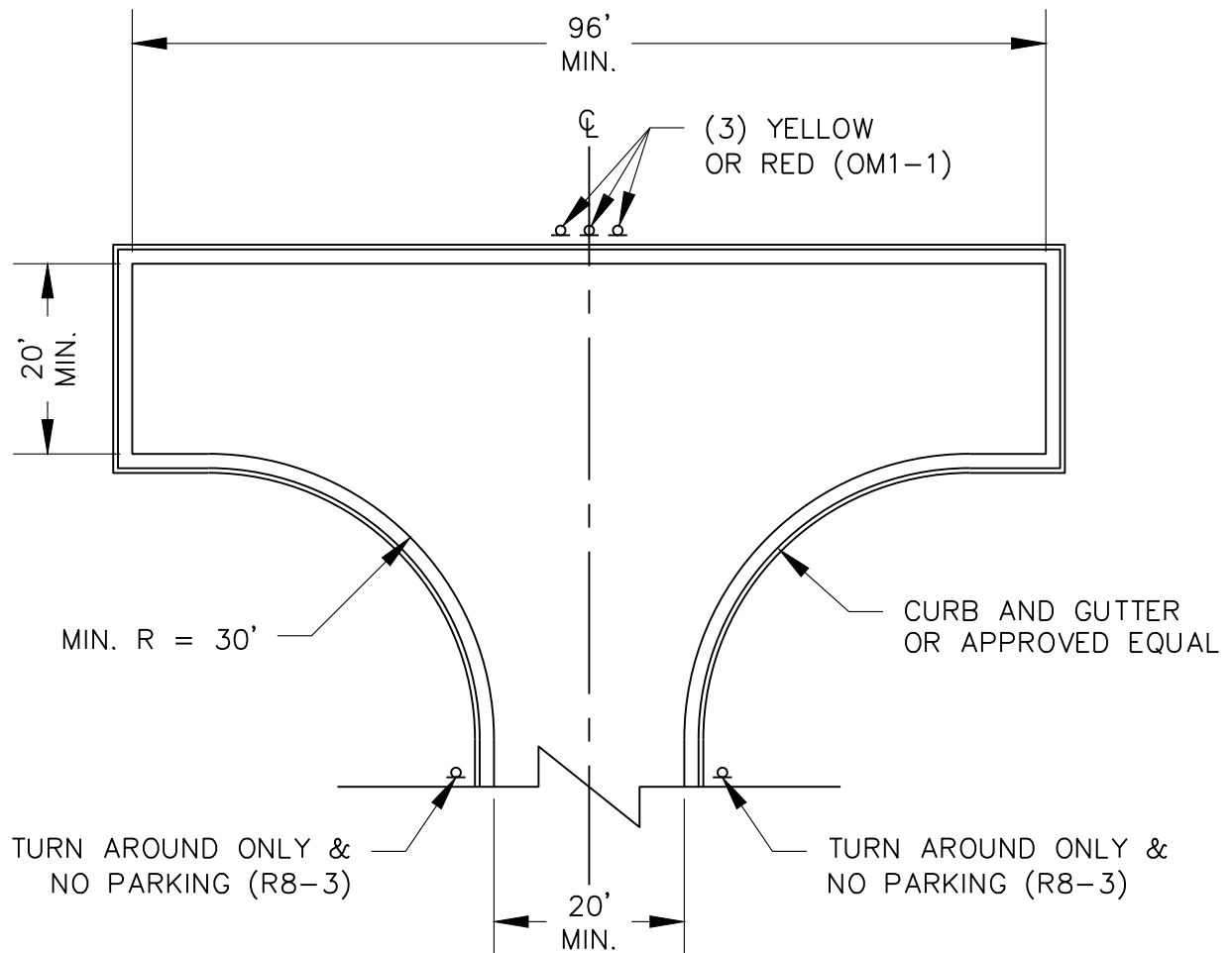
**TYPICAL DETAILS
CITY OF DESTIN, FL**

REV

SHEET TITLE

CUL-DE-SAC

DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
PROJECT NO: N/A	SCALE: N.T.S.	T-09



NOTE(S):

1. THE HAMMERHEAD MUST BE PAVED WITH CONCRETE OR ASPHALT AND MEET THE CONNECTING ROAD.
2. THE HAMMERHEAD SHALL BE DESIGNED FOR PROPER DRAINAGE.
3. HAMMERHEAD OR CUL-DE-SAC (T-09) ARE REQUIRED FOR ANY FIRE ACCESS LANES TERMINATING GREATER THAN 150 FEET. IN LIEU OF THIS, A FIRE SPRINKLER SYSTEM SHALL BE INSTALLED WITHIN A BUILDING AFTER THE 150 FEET. (FLORIDA FIRE PREVENTION CODE (FFPC) (CURRENT ADOPTED EDITION))



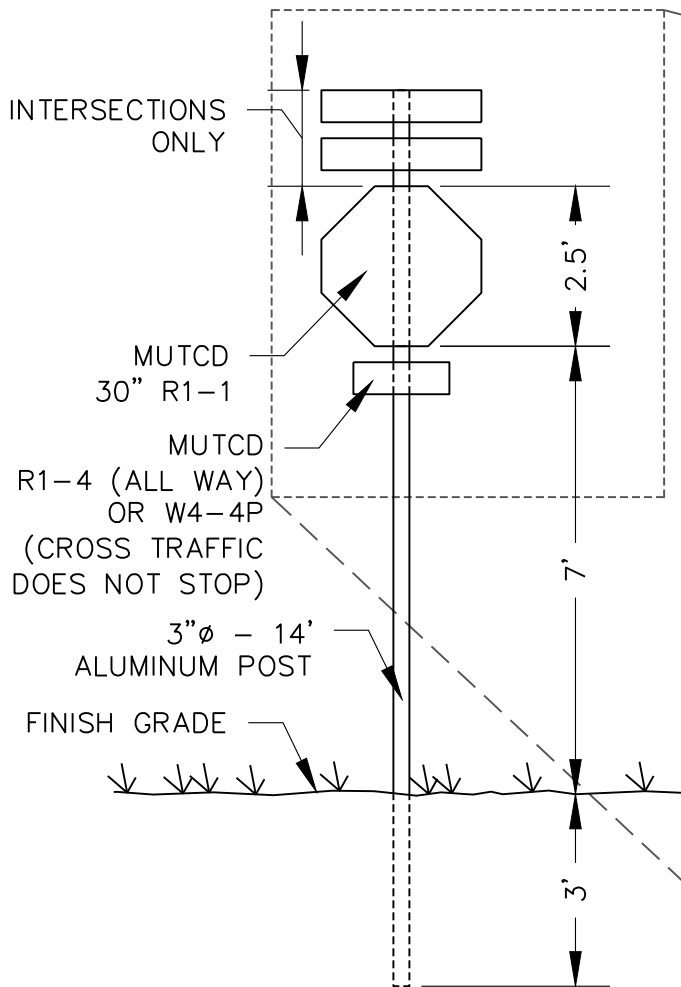
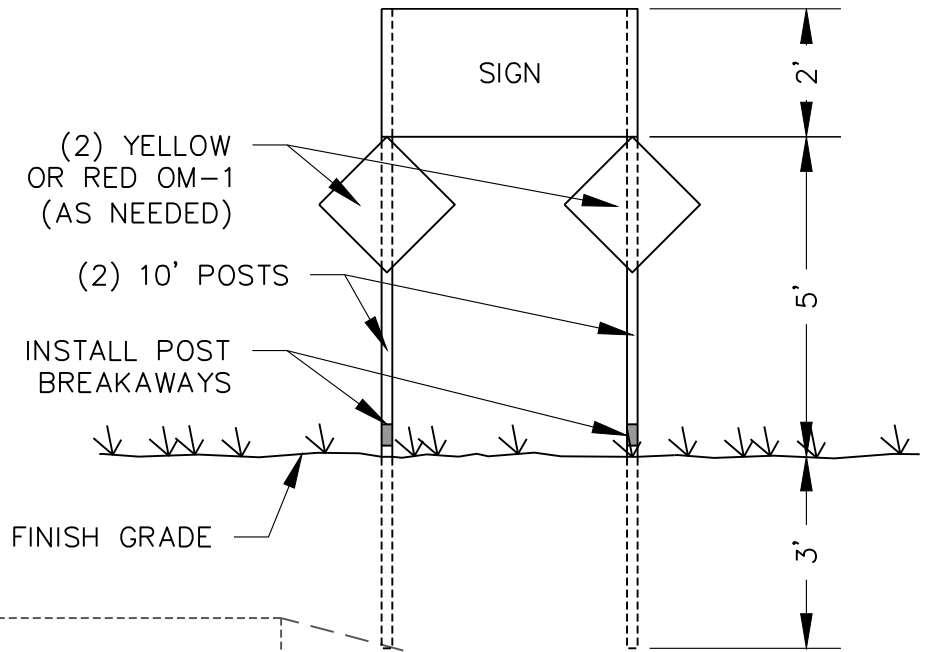
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**TYPICAL DETAILS
CITY OF DESTIN, FL**

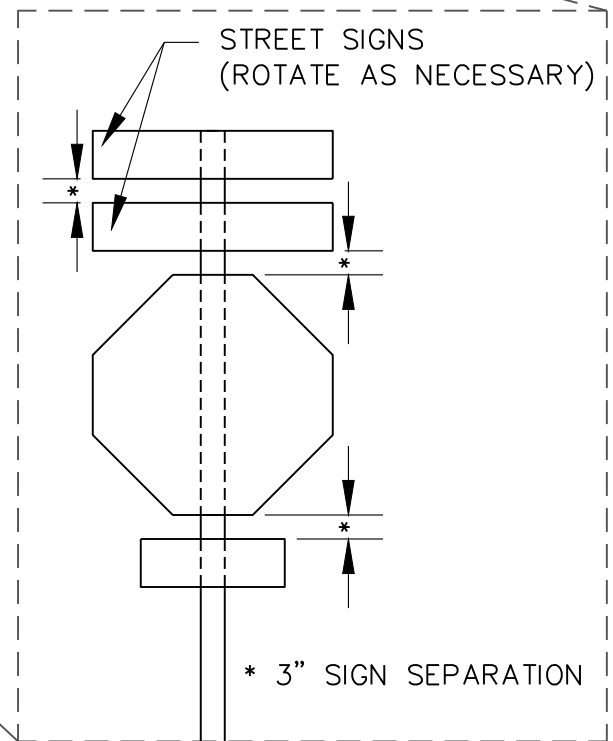
**SHEET TITLE
HAMMERHEAD TURNAROUND**

REV	DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
	PROJECT NO: N/A	SCALE: N.T.S.	T-10



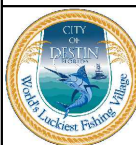
**STOP SIGN
DETAIL**

**SINGLE & DOUBLE
SIGN POST DETAIL**



NOTE(S):

1. ALL REGULATORY AND WARNING SIGNS ARE OF STANDARD SIZE FROM THE MUTCD.



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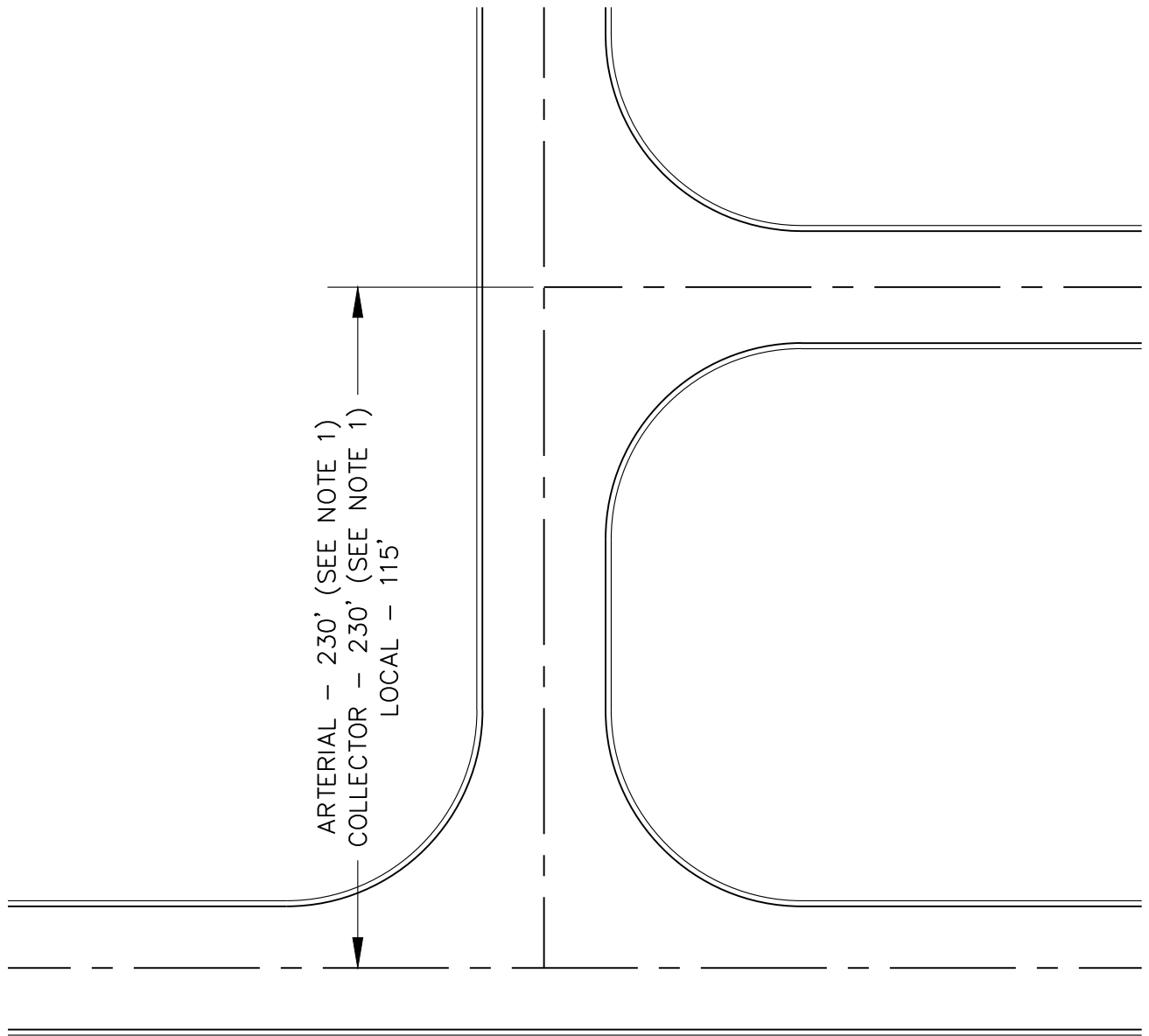
**TYPICAL DETAILS
CITY OF DESTIN, FL**

REV

DATE: MARCH 2023	FILE NO.:	N/A
PROJECT NO: N/A	SCALE:	N.T.S.

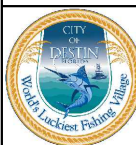
STREET SIGNS

SHEET NO. **T-11**



NOTE(S):

1. FOR RIGHT-IN, RIGHT-OUT ACCESSWAY, MINIMUM SPACING SHALL BE 115'.
2. FOR US HIGHWAY 98, PLEASE REFER TO FDOT SPECIFICATIONS.
3. MEDIAN OPENINGS:
DIRECTIONAL - ARTERIAL - 1,320', COLLECTOR - 660', LOCAL - N/A
FULL - ARTERIAL - 2,640', COLLECTOR - 660', LOCAL - N/A
4. MINIMUM TRAFFIC SIGNAL SPACING:
ARTERIAL - 2,640', COLLECTOR - 1,320', LOCAL - 1,320'

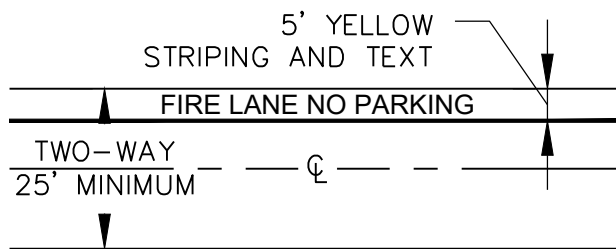
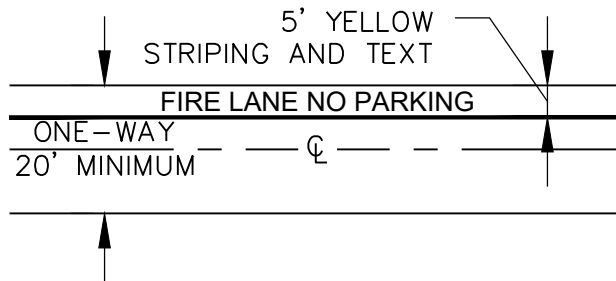


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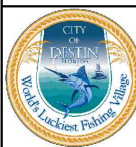
**TYPICAL DETAILS
CITY OF DESTIN, FL**

SHEET TITLE			
DRIVEWAY SEPARATION			
DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.	
PROJECT NO: N/A	SCALE: N.T.S.	T-12	



NOTE(S):

1. FIRE LANE MARKINGS TO BE INSTALLED WITHIN THE FIRE LANE AROUND THE BUILDING AND FOLLOW THE MINIMUM REQUIREMENTS OF THE FLORIDA FIRE PREVENTION CODE (FFPC) (CURRENT ADOPTED EDITION).

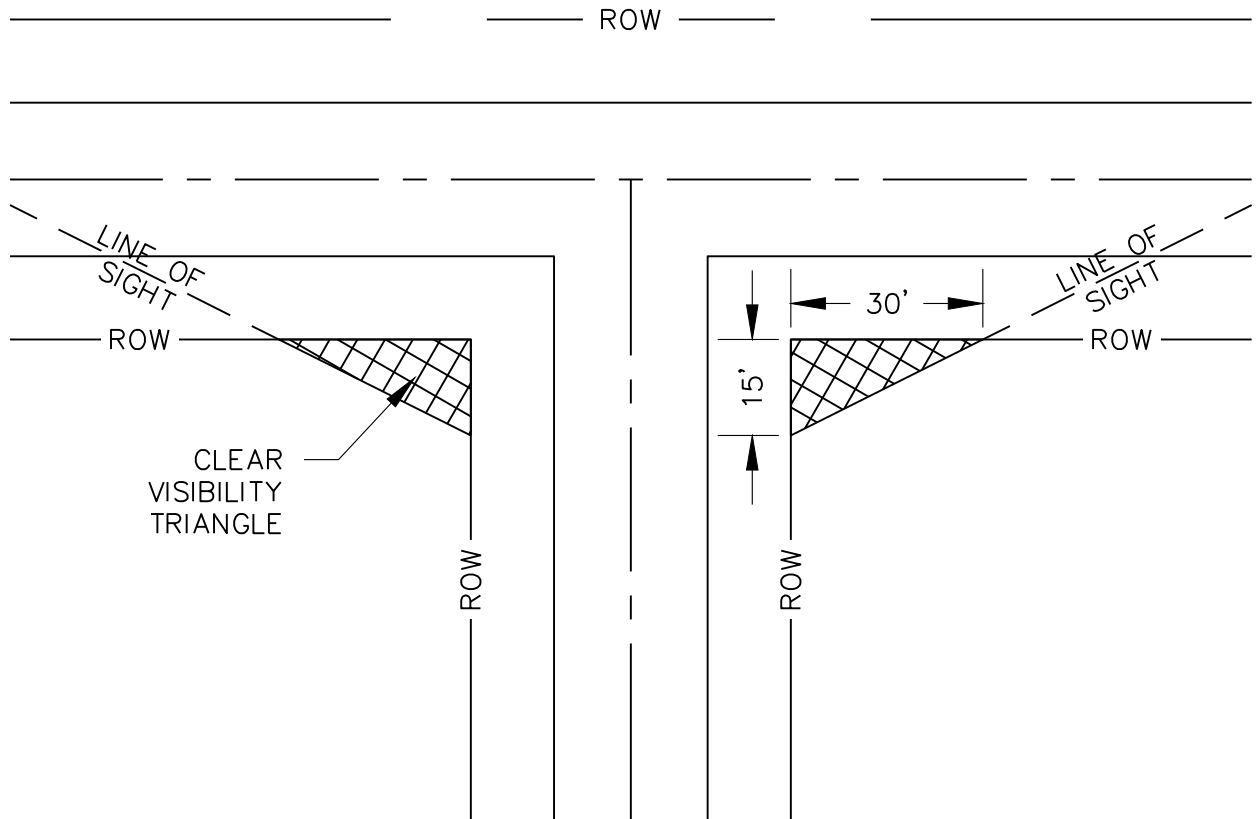


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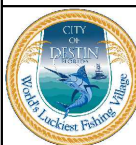
**TYPICAL DETAILS
CITY OF DESTIN, FL**

SHEET TITLE			
FIRE LANE WIDTHS			
DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.	
PROJECT NO: N/A	SCALE: N.T.S.	T-13	



NOTE(S):

1. THIS DETAIL RELATES TO ZERO SETBACK BUILDING REQUIREMENTS.
2. RIGHT-OF-WAY (ROW) REFERS TO BOTH PUBLIC AND PRIVATE ROWS.
3. NOTHING SHALL BE ERECTED, PLACED, PARKED, PLANTED OR ALLOWED TO GROW IN SUCH A MANNER AS TO MATERIALLY IMPEDE VISION BETWEEN A HEIGHT OF TWO FEET AND EIGHT AND A HALF FEET ABOVE THE GRADE, MEASURED AT THE CENTERLINE OF THE INTERSECTION, EXCEPT PRESERVED AND PROTECTED TREES.
4. PRESERVED OR PROTECTED TREES SHALL BE ALLOWED TO REMAIN IN A CLEAR VISIBILITY TRIANGLE PROVIDED ALL BRANCHES AND FOLIAGE IS REMOVED BETWEEN A HEIGHT OF TWO FEET AND EIGHT AND A HALF FEET ABOVE THE GRADE.
5. IT IS THE RESPONSIBILITY OF THE OWNER OR TENANT OF THE PROPERTY TO MAINTAIN THE CLEAR VISION TRIANGLE BY TRIMMING OR REMOVING THE CAUSE OF ANY SIGHT OBSTRUCTION WITHIN SAID CLEAR VISIBILITY TRIANGLE.
6. A COLUMN CAN BE INSTALLED AT THE CORNER OF THE PROPERTY WITH A MAXIMUM WIDTH OF 18".



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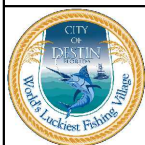
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**TYPICAL DETAILS
CITY OF DESTIN, FL**

SHEET TITLE				
BUILDING CLEAR VISIBILITY TRIANGLE				
REVISION		DATE: MARCH 2023	FILE NO.:	N/A
		PROJECT NO: N/A	SCALE:	N.T.S.
				SHEET NO. T-14

NOTE(S):

1. FOR CLEAR SIGHT TRIANGLES ALONG THE US-98/HARBOR BOULEVARD/EMERALD COAST PARKWAY CORRIDOR, USE FDOT GUIDELINES (LATEST EDITION).
2. FOR ALL OTHER CITY ROADWAYS, USE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS (FLORIDA GREENBOOK) FIGURE 3-16 AND FIGURE 3-17 (LATEST EDITION).



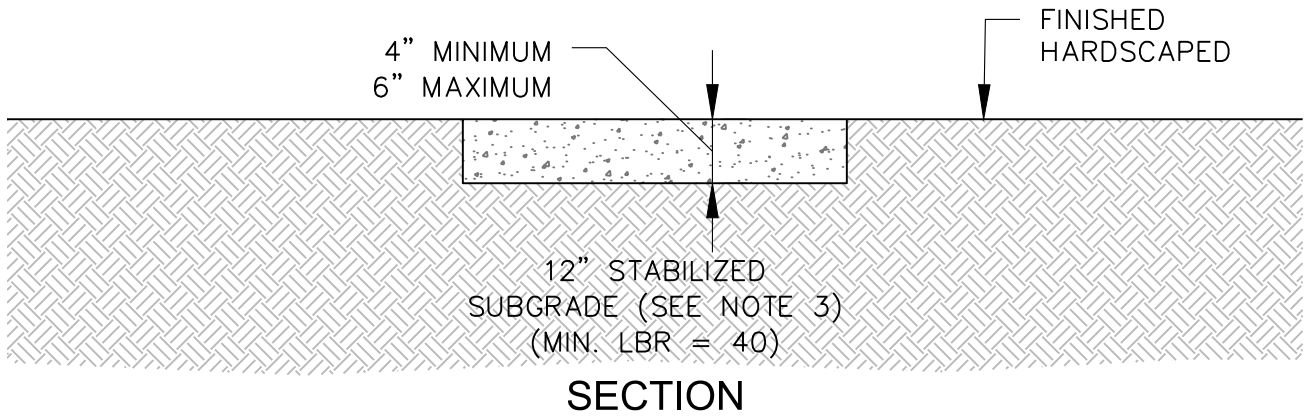
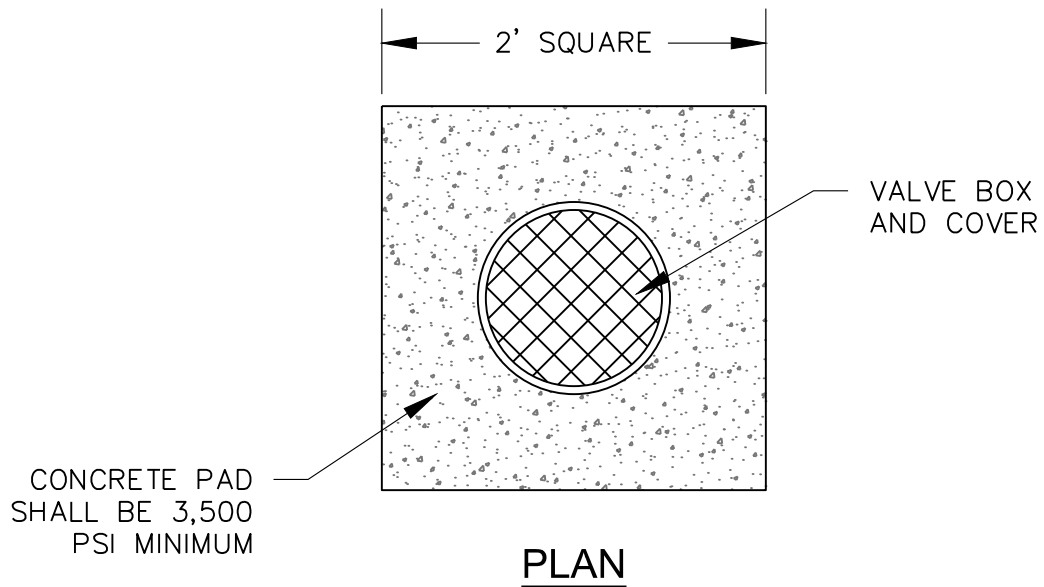
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**TYPICAL DETAILS
CITY OF DESTIN, FL**

SHEET TITLE			
CLEAR SITE TRIANGLE			
R E V	DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
	PROJECT NO: N/A	SCALE: N.T.S.	T-15

C:\USERS\RSCOTT\CITY OF DESTIN, FL\ENGINEERING - DOCUMENTS\CAD\DRAWINGS\DESIGN MANUAL\VALVE PAD.DWG



NOTE(S):

1. CONCRETE TO CONTAIN FIBER REINFORCEMENT ($\frac{3}{4}$ LB/CY). HIGH STRENGTH/EARLY CURE CONCRETE MAY BE USED.
2. IN-LIEU OF FIBER REINFORCEMENT CONTRACTOR MAY USE 1 #3 BAR EACH WAY (4 TOTAL).
3. ALL VALVE PADS WITHIN A ROADWAY TO BE SET ON REQUIRED ROADWAY BASE WITH THE PROPER ROADWAY LBR (SEE DETAILS T-03 & T-04).
4. PREFABRICATED CONCRETE COLLARS "DONUTS" MAY BE USED IN LANDSCAPED OR SODDED AREAS.



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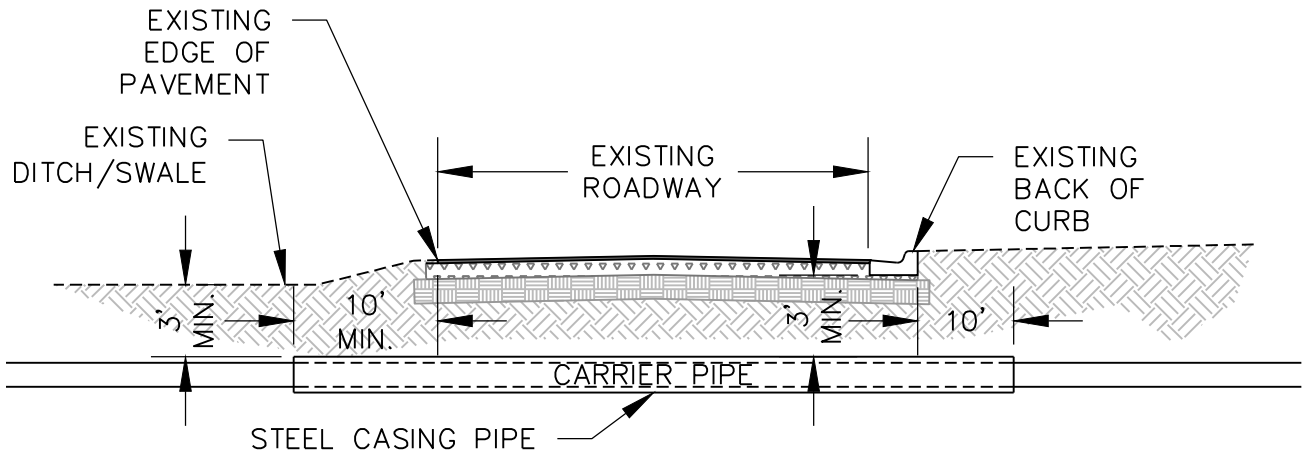
**TYPICAL DETAILS
CITY OF DESTIN, FL**

REV

SHEET TITLE

VALVE PAD

DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
PROJECT NO: N/A	SCALE: N.T.S.	U-01



NOTE(S):

1. SPACERS SHALL BE BY THE PLANS AND SPECIFICATIONS. THE QUANTITY AND SPACING SHALL BE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, PLANS, AND SPECIFICATIONS (WHICHEVER IS MORE STRINGENT).
2. STEEL PIPE CASING SHALL BE IN ACCORDANCE WITH THE FDOT STANDARD SPECIFICATION FOR ROAD & BRIDGE, LATEST EDITION, SECTION 556.2.1. ENDS OF CASING TO BE SEALED ACCORDING TO PLANS AND SPECIFICATIONS.
3. WHERE PRACTICAL, CASING SHALL EXTEND 10' BEYOND EDGE OF PAVEMENT SHALL NOT BE LESS THAN 10' BEYOND EDGE OF PAVEMENT IN ANY CASE. THE CITY MAY REQUIRE LONGER CASING FOR DEEPER BORES.
4. WHEN CONSTRUCTION IS WITHIN FDOT JURISDICTION, ADDITIONAL REQUIREMENTS USING FDOT STANDARDS SHALL ALSO BE MET.
5. NO UNCONTROLLED TRENCHLESS TECHNOLOGIES SUCH AS MISSILING WITHIN THE RIGHT-OF-WAY.
6. THIS DETAIL SHALL BE USED FOR ALL PRESSURIZED UTILITIES UNDER THE ROADWAY.
7. JACK & BORE PROCESS SHALL BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE, LATEST EDITION, SECTION 556-3, 4 & 5.

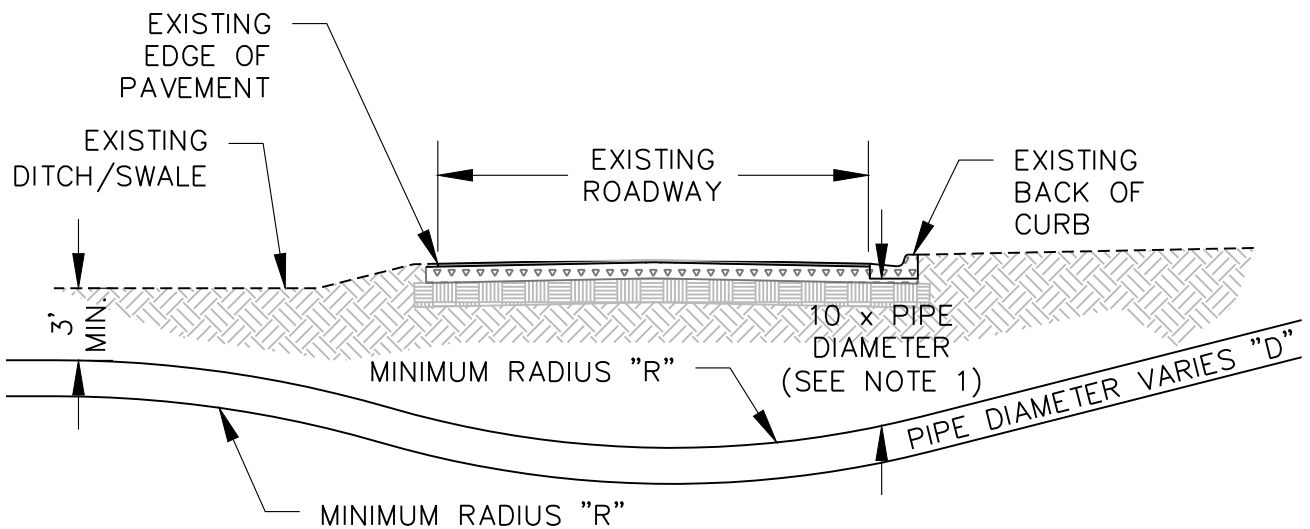


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**TYPICAL DETAILS
CITY OF DESTIN, FL**

SHEET TITLE			
JACK & BORE			
DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.	
PROJECT NO: N/A	SCALE: N.T.S.	U-02	

**NOTE(S):**

1. 10 x MINIMUM REAMER DIAMETER FOR ALL RIGHT-OF-WAYS.
2. BORING PLANS SHALL TO BE APPROVED BY THE ENGINEER OF RECORD AND CITY ENGINEER.
3. CONSTRUCTION AND OPERATION SHALL MEET THE MINIMUM REQUIREMENTS OF FDOT STANDARD SPECIFICATION FOR ROAD & BRIDGE, LATEST EDITION, SECTION 555.
4. UNCONTROLLED TRENCHLESS TECHNOLOGIES SUCH AS MISSILLING SHALL BE NOT BE ALLOWED.
5. BORE DOCUMENTATION SHALL BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATION FOR ROAD & BRIDGE, LATEST EDITION, SECTION 555.6 WHEN REQUESTED.



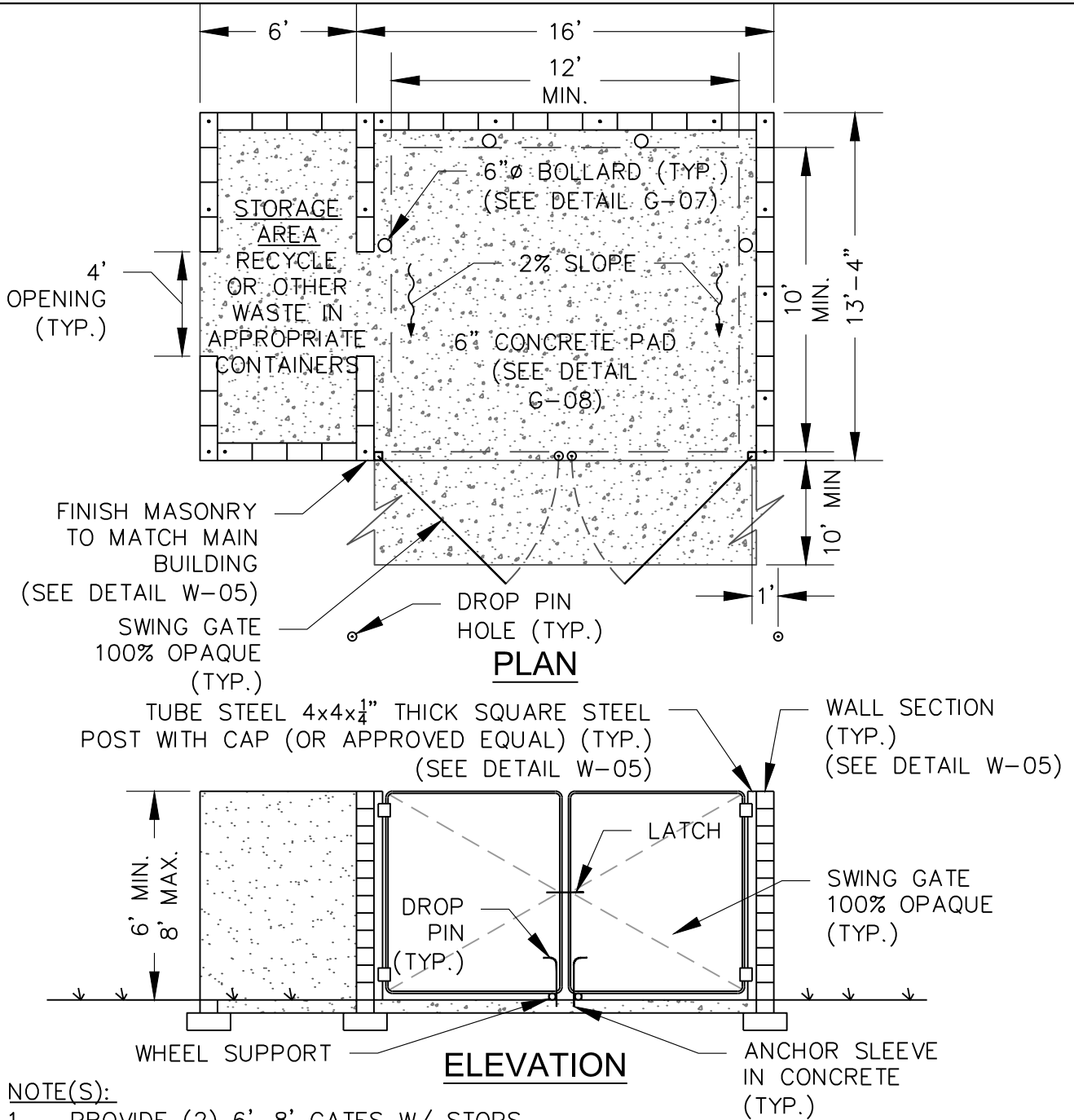
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**TYPICAL DETAILS
CITY OF DESTIN, FL**

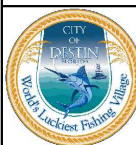
SHEET TITLE
DIRECTIONAL DRILL

REV	DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
	PROJECT NO: N/A	SCALE: N.T.S.	U-03



NOTE(S):

1. PROVIDE (2) 6'-8' GATES W/ STOPS.
2. DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CF OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 10 FT OF COMBUSTIBLE WALLS, OPENINGS, OR COMBUSTIBLE ROOF EAVE LINES. LATEST EDITION NFPA 1: CHAPTER 19.
3. THIS DETAIL IS A REPRESENTATION OF COMPLIED PUBLIC INFORMATION. IT IS BELIEVED TO BE AN ACCURATE AND TRUE DEPICTION FOR THE STATED PURPOSE. BUT THE CITY OF DESTIN AND ITS EMPLOYEES MAKE NO GUARANTEES IMPLIED OR OTHERWISE AS TO ITS ACCURACY OR COMPLETENESS. WE THEREFORE, DO NOT ACCEPT ANY RESPONSIBILITY TO ITS USE.
4. IF ROOF STRUCTURE IS PROPOSED, IT MUST MEET FLORIDA BUILDING CODE MIN. WIND LOADING REQUIREMENTS.



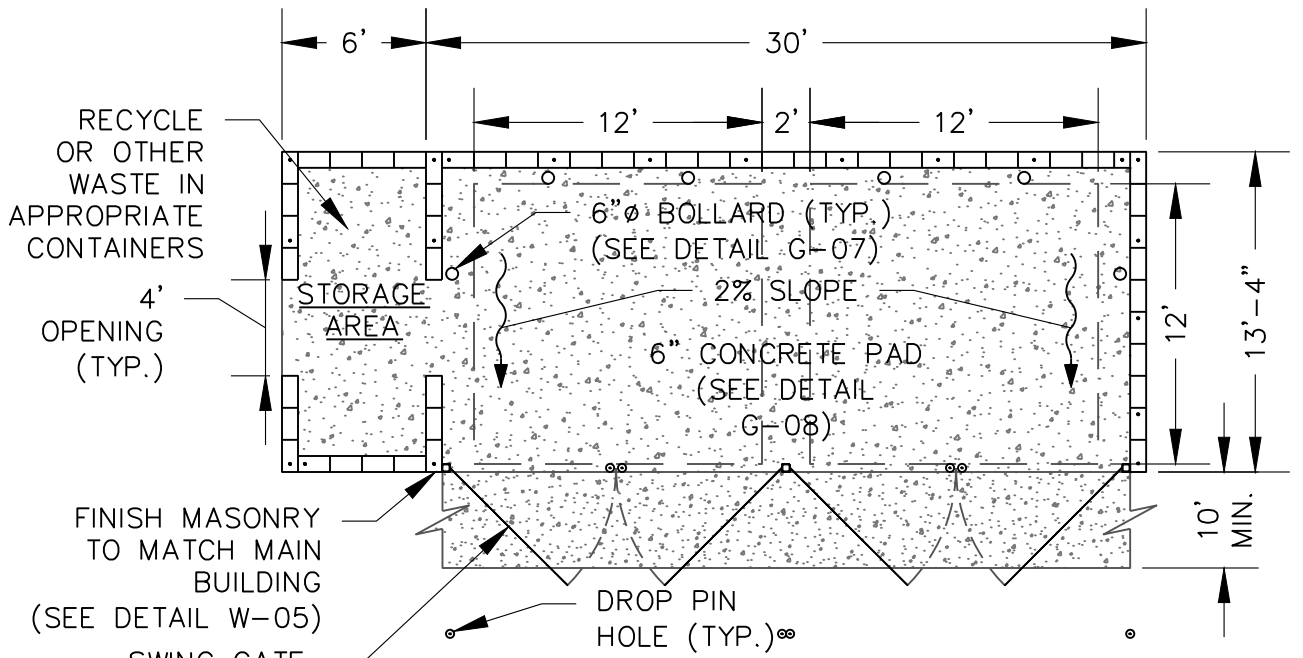
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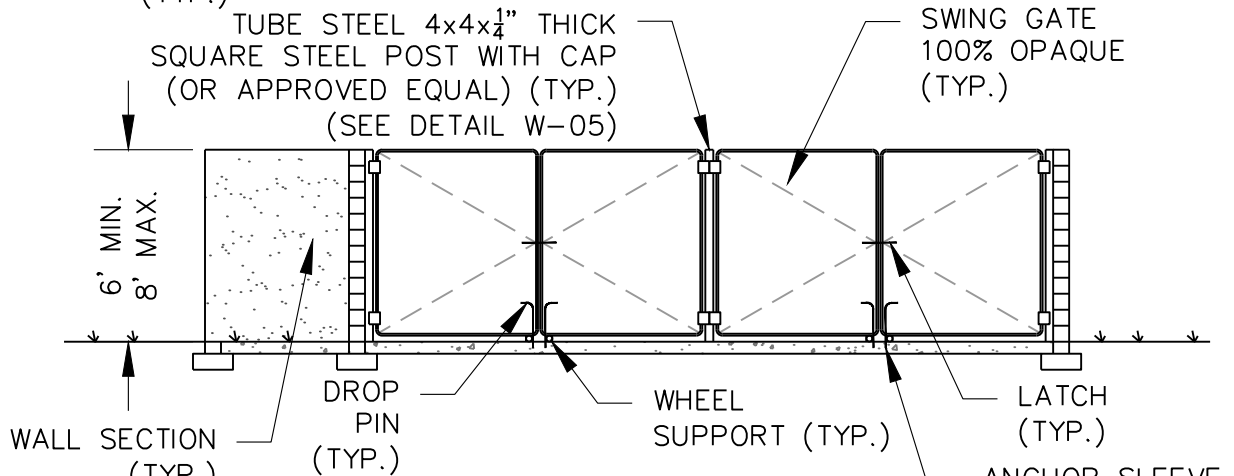
**TYPICAL DETAILS
CITY OF DESTIN, FL**

SHEET TITLE
SINGLE DUMPSTER ENCLOSURE

REV	DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
	PROJECT NO: N/A	SCALE: N.T.S.	W-01



PLAN



ELEVATION

(SEE DETAIL W-05)

NOTE(S):

1. PROVIDE (4) 6'-8' GATES W/ STOPS.
2. DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CF OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 10 FT OF COMBUSTIBLE WALLS, OPENINGS, OR COMBUSTIBLE ROOF EAVE LINES. LATEST EDITION NFPA 1: CHAPTER 19.
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4. IF ROOF STRUCTURE IS PROPOSED, IT MUST MEET FLORIDA BUILDING CODE MIN. WIND LOADING REQUIREMENTS.



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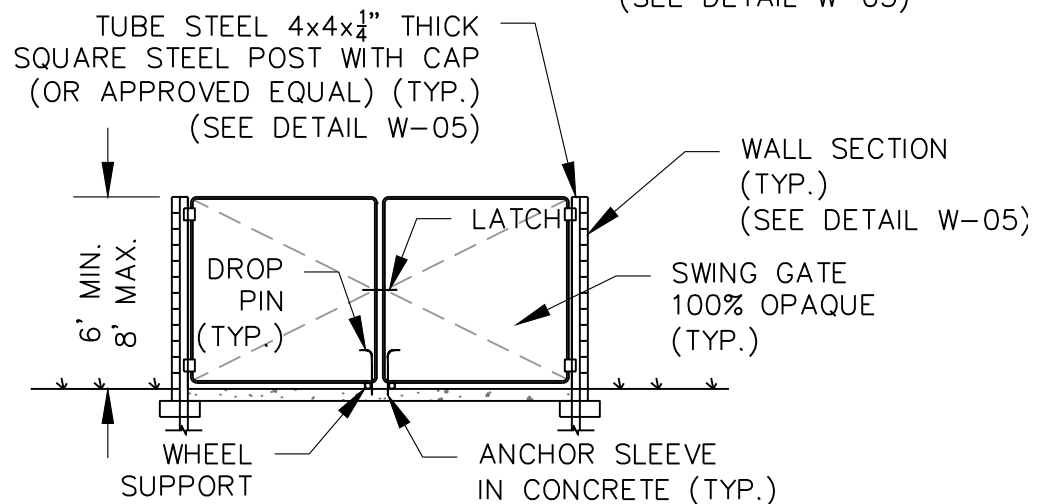
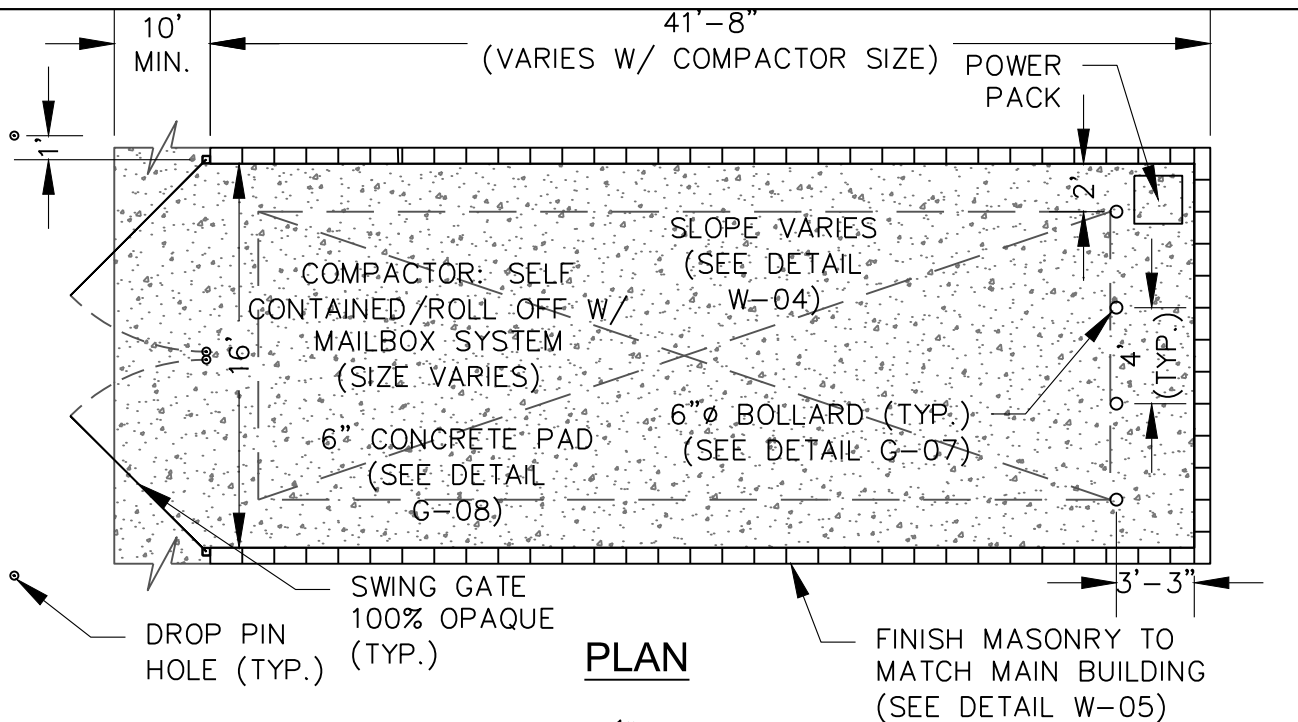
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**TYPICAL DETAILS
CITY OF DESTIN, FL**

SHEET TITLE
DOUBLE DUMPSTER ENCLOSURE

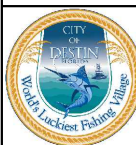
REV	DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
	PROJECT NO: N/A	SCALE: N.T.S.	W-02

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NOTE(S):

1. PROVIDE (2) 6'-8' GATES W/ STOPS.
2. DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CF OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 10 FT OF COMBUSTIBLE WALLS, OPENINGS, OR COMBUSTIBLE ROOF EAVE LINES. LATEST EDITION NFPA 1: CHAPTER 19.
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4. IF ROOF STRUCTURE IS PROPOSED, IT MUST MEET FLORIDA BUILDING CODE MIN. WIND LOADING REQUIREMENTS.
5. COMPACTOR SHALL BE ADA ACCESSIBLE.

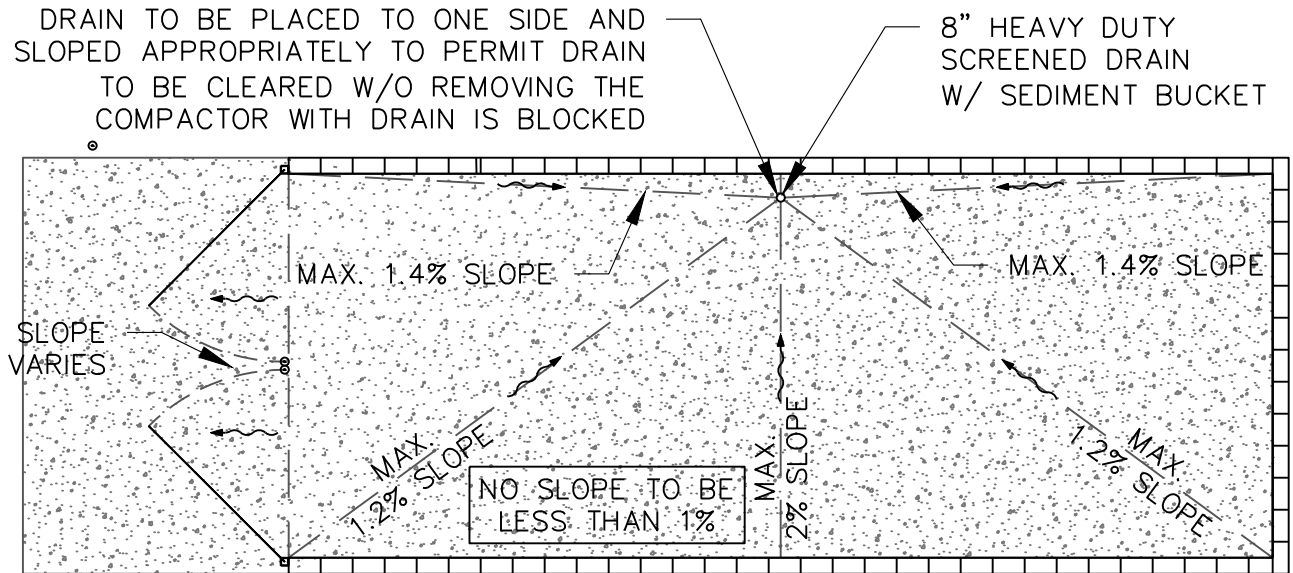


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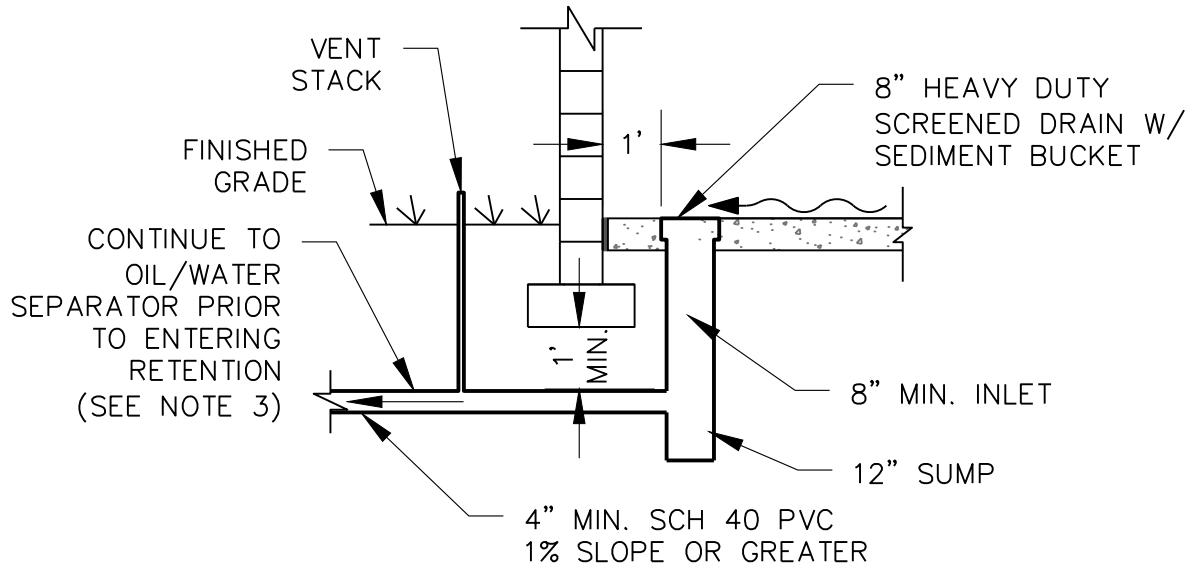
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**TYPICAL DETAILS
CITY OF DESTIN, FL**

SHEET TITLE			
COMPACTOR ENCLOSURE			
DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.	
PROJECT NO: N/A	SCALE: N.T.S.	W-03	



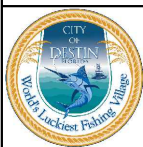
GRADE PLAN



NOTE(S):

DRAIN DETAIL

1. SANITARY SEWER CONNECTION NOT ALLOWED FOR THIS APPLICATION.
2. THIS DETAIL IS A REPRESENTATION OF COMPLIED PUBLIC INFORMATION. IT IS BELIEVED TO BE AN ACCURATE AND TRUE DEPICTION FOR THE STATED PURPOSE. BUT THE CITY OF DESTIN AND ITS EMPLOYEES MAKE NO GUARANTEES IMPLIED OR OTHERWISE AS TO ITS ACCURACY OR COMPLETENESS. WE THEREFORE, DO NOT ACCEPT ANY RESPONSIBILITY TO ITS USE.
3. IF STRUCTURE IS ROOFED, SLAB DRAIN CAN BE DIRECTED TO SANITARY SEWER. IF COMPACTOR IS OPEN TO THE ELEMENTS, SLAB DRAIN SHALL BE DIRECTED TO RETENTION AREA AFTER OIL/WATER SEPARATOR.

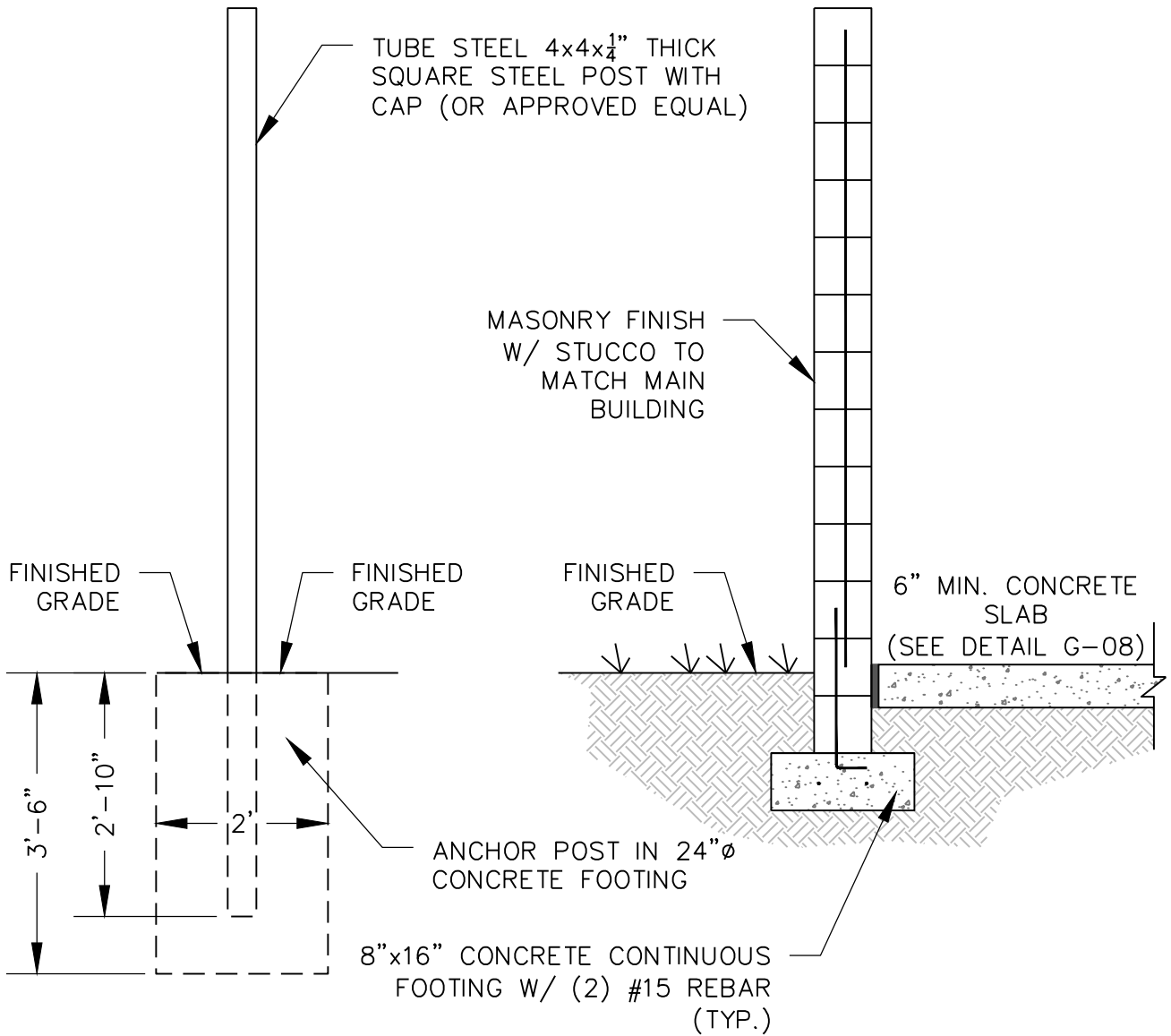


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TYPICAL DETAILS
CITY OF DESTIN, FL

SHEET TITLE			
COMPACTOR SLAB GRADE DETAIL			
DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.	
PROJECT NO: N/A	SCALE: N.T.S.	W-04	



**TYPICAL POST
DETAIL**

**TYPICAL WALL
DETAIL**

NOTE(S):

1. ALL STRUCTURES SHALL BE IN ACCORDANCE WITH A.C.I. SPECIFICATIONS AND FLORIDA BUILDING CODES.
2. DESIGN SHALL BE STRUCTURALLY REVIEWED BY A REGISTERED ENGINEER AS REQUIRED BY THE BUILDING OFFICIAL.
3. THIS DETAIL IS A REPRESENTATION OF COMPLIED PUBLIC INFORMATION. IT IS BELIEVED TO BE AN ACCURATE AND TRUE DEPICTION FOR THE STATED PURPOSE. BUT THE CITY OF DESTIN AND ITS EMPLOYEES MAKE NO GUARANTEES IMPLIED OR OTHERWISE AS TO ITS ACCURACY OR COMPLETENESS. WE THEREFORE, DO NOT ACCEPT ANY RESPONSIBILITY TO ITS USE.



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**TYPICAL DETAILS
CITY OF DESTIN, FL**

SHEET TITLE
DUMPSTER WALL - POST DETAIL

REV	DATE: MARCH 2023	FILE NO.: N/A	SHEET NO.
	PROJECT NO: N/A	SCALE: N.T.S.	W-05

CITY OF DESTIN



AGENDA ITEM

COUNCIL MEETING DATE: June 11, 2024

TYPE OF AGENDA ITEM: Presentation

AGENDA OUTLINE NUMBER: 5.A.

TO: Public Works / Public Safety Committee

THRU: Louis Zunguze, City Manager

FROM: Michael Burgess, Public Services Director

DATE: 06/06/2024

SUBJECT: Public Works/Emergency Management Update

I. BACKGROUND: Monthly Departmental Update

II. DISCUSSION: Informational Item

A. Link to Strategic Goals / Objectives: N/A

B. Effect on Budget (EOB): N/A

C. Level of Service (LOS): N/A

D. Legislative Sponsor:

III. CONCLUSION: N/A

IV. RECOMMENDED MOTION: No motion required.

Attachments:

1. PW EM Departmental Update June 2024

Public Works Update

Departmental Update

- Deputy Director, no new qualified applicants

Operational Update

Recent & Upcoming Council Agenda Items

- Median and Grounds Maintenance RFB approved – June 3 (advertised last week for July 11 opening)
- No items for June 17 meeting yet

Project Update

- US98 Median Improvements (SR293 to County Line) – Project mostly complete
- New Dump Truck – July 2024
- New Vehicles for P&R, Code and Building – received, except for one Ford Maverick
- Four-Prong Lake Sidewalk – PO issued

Emergency Management Update

Operational Update

- Hurricane Season started June 1
- Okaloosa County hosted the annual Hurricane Exercise May 31 at the EOC
- Disaster Preparedness Tax-Free Holiday June 1 thru June 14