



**AGENDA
LOCAL PLANNING AGENCY
THURSDAY, OCTOBER 13, 2022
5:30 PM
ANNEX COUNCIL CHAMBERS**

- 1. CALL TO ORDER**
- 2. ROLL CALL/PLEDGE OF ALLEGIANCE**
- 3. APPROVAL OF MINUTES**
 - A. August 25, 2022 Minutes**
 - B. September 1, 2022 Minutes**
- 4. OLD BUSINESS**
- 5. NEW BUSINESS**
 - A. Article 4- Mobile-Manufactured Homes**
 - B. Zoning District Consolidation**
- 6. PUBLIC COMMENTS** (Comments from the public on any matters considered at the meeting, or on any matters not on the agenda)
- 7. NEXT MEETING DATE: October 27, 2022**

Any person requiring a special accommodation at this hearing because of a disability or physical impairment should contact the City Clerk at (850) 837-4242 at least 48 hours prior to the hearing. If a person decides to appeal any decision made with respect to any matter considered at such meeting, such person will need a record of the proceeding and for such purpose may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based. (Sec. 286.0105, Florida Statutes)

**LOCAL PLANNING AGENCY
MEETING MINUTES
AUGUST 25, 2022 - 5:30 P.M.
DESTIN CITY HALL BOARDROOM**

1. CALL TO ORDER:

Chairman Wood called the Local Planning Agency Meeting to order on Thursday, August 25, 2022, at 5:30 p.m., in the Destin City Hall Boardroom; with the Pledge of Allegiance immediately following.

2. ROLL CALL:

Members Present

James T. Wood, Jr.
Karen Hudson
Marcie Bell
Corey Ledbetter
Todd Buhr

Members Absent

Staff Members Present

Kim Montgomery City Clerk
Steven O'Connor Principal Planner

3. APPROVAL OF MINUTES:

None

4. NEW BUSINESS:

A. Mobility Plan Update

Mr. O'Connor explained to the members prior to presenting them a Power Point Presentation and how they discuss some proposed major projects, intersections, and small network improvements as well as other projects and initiatives and the next steps.

(NEXT PAGE)



City of Destin Mobility Plan

City Council Briefing

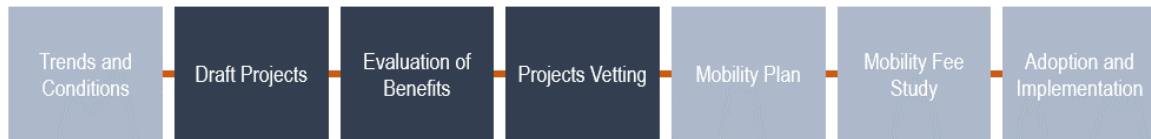
August 2022



Agenda

- Project status
- Public Feedback on Mobility Plan topics
- Major projects
- Intersection and small network improvements
- Other project and policy initiatives
- Next Steps

Current Status



Completed

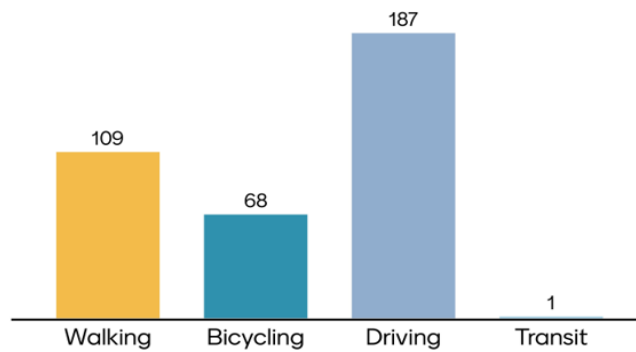
- Needs assessment and trends and conditions analysis
- Initial feedback on transportation issues and needs
- Identified primary roadway projects and intersection improvements

In Progress

- Mobility Plan and Fee Study documentation
- Evaluating and vetting projects

QUALITY OF LIFE

What modes of transportation do you use to get around Destin (not including exercise)?

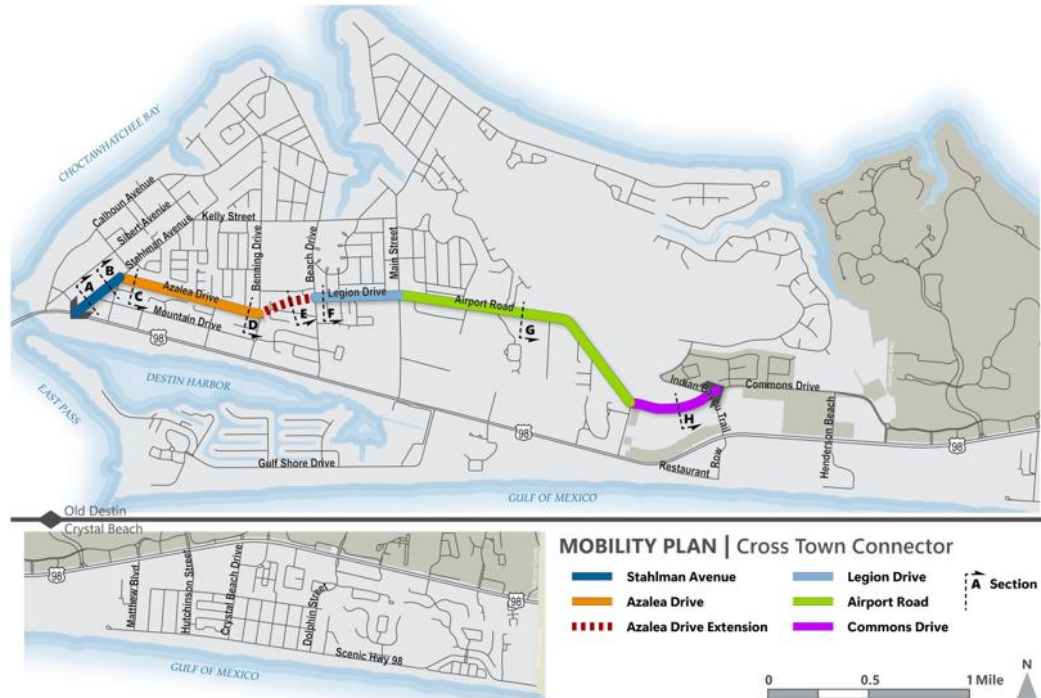


What destinations would you like to access by walking or biking?



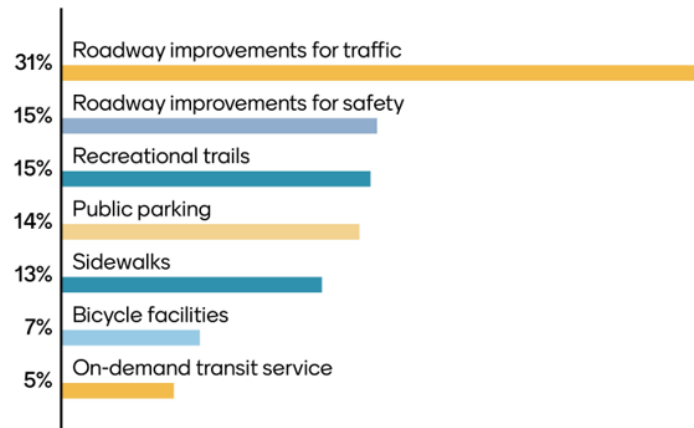
Rank the following transportation emphasis areas in order of importance to you





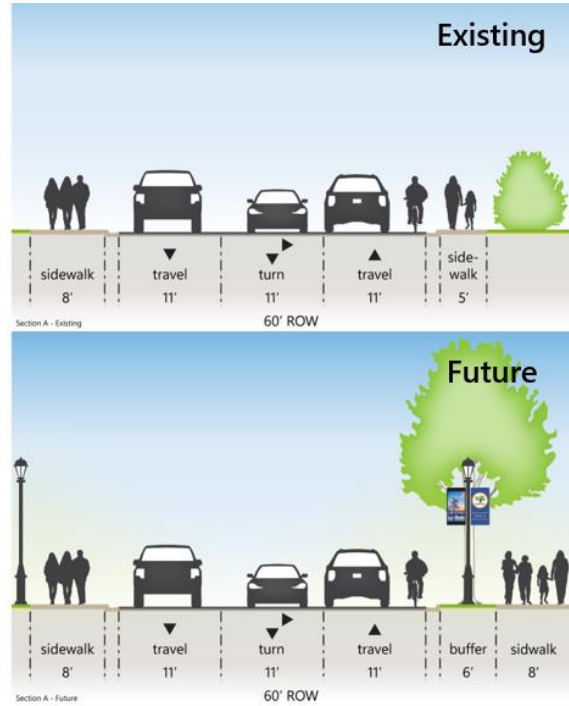
FACILITIES, SERVICES, AND INFRASTRUCTURE

If you had \$100, what percentage would you spend on the following?

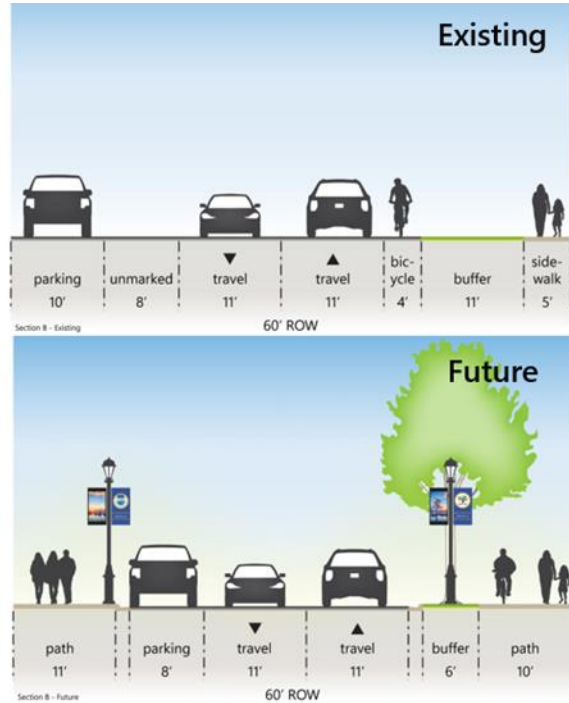




Stahlman Avenue north of Zerbe Street Section A

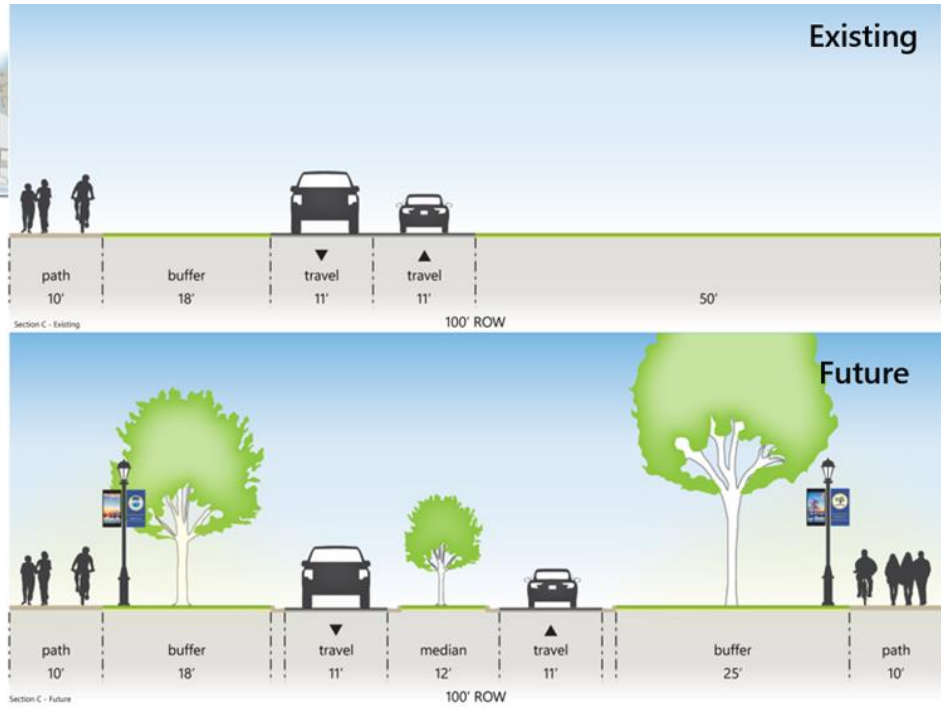


Stahlman Avenue north of Mountain Drive Section B

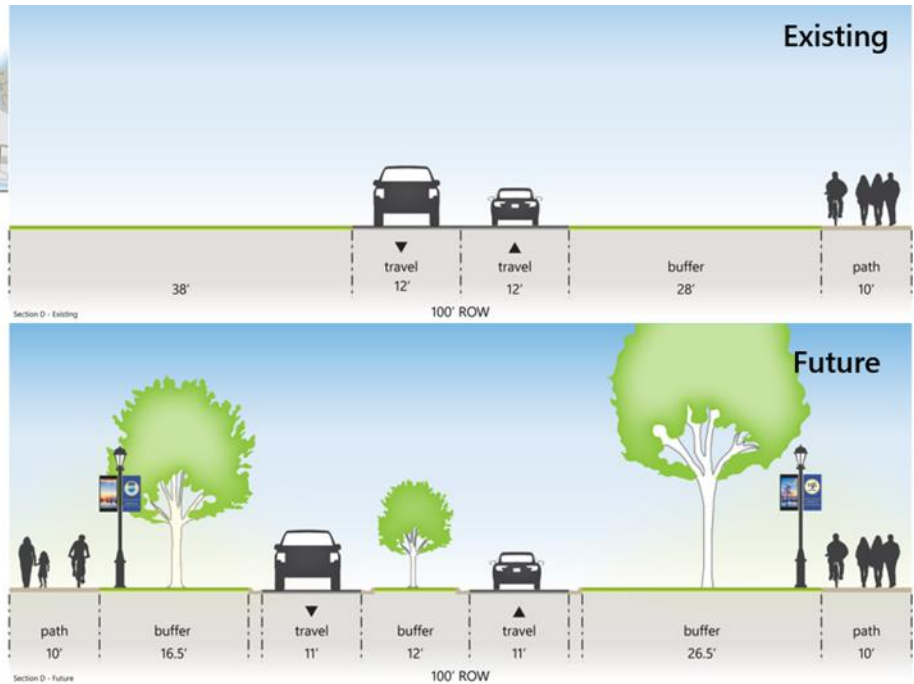




**Azalea Drive east
of Stahlman
Avenue
Section C**

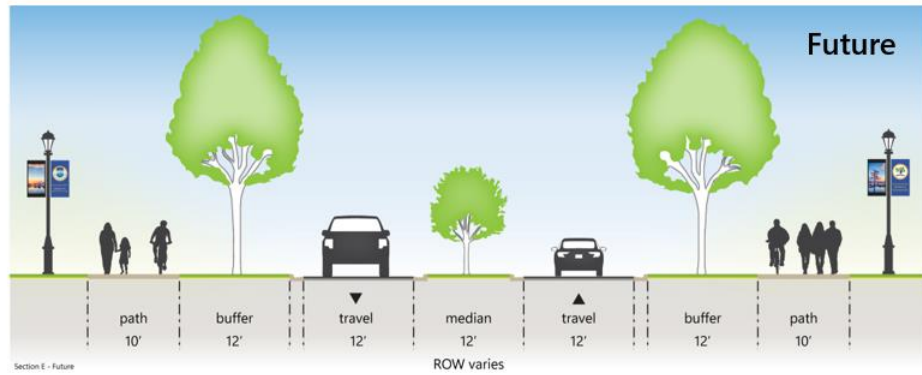


**Azalea Drive west
of Benning Drive
Section D**

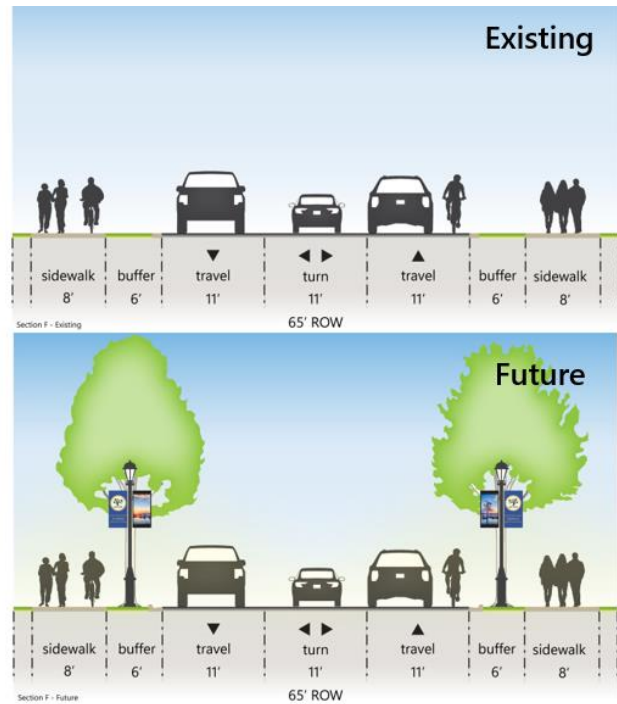




Azalea Drive Extension east of Benning Drive Section E

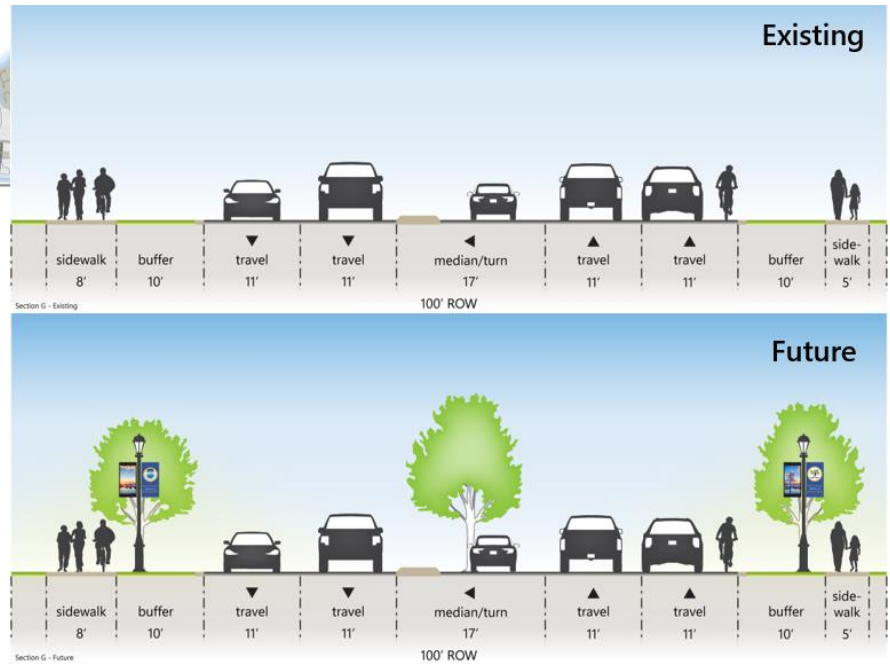


Legion Drive west of Benning Drive Section F

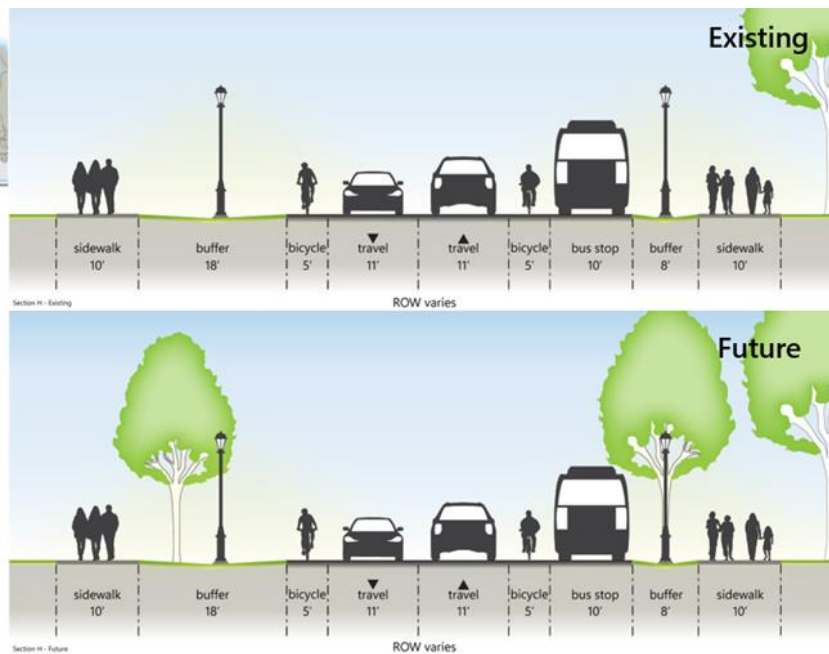


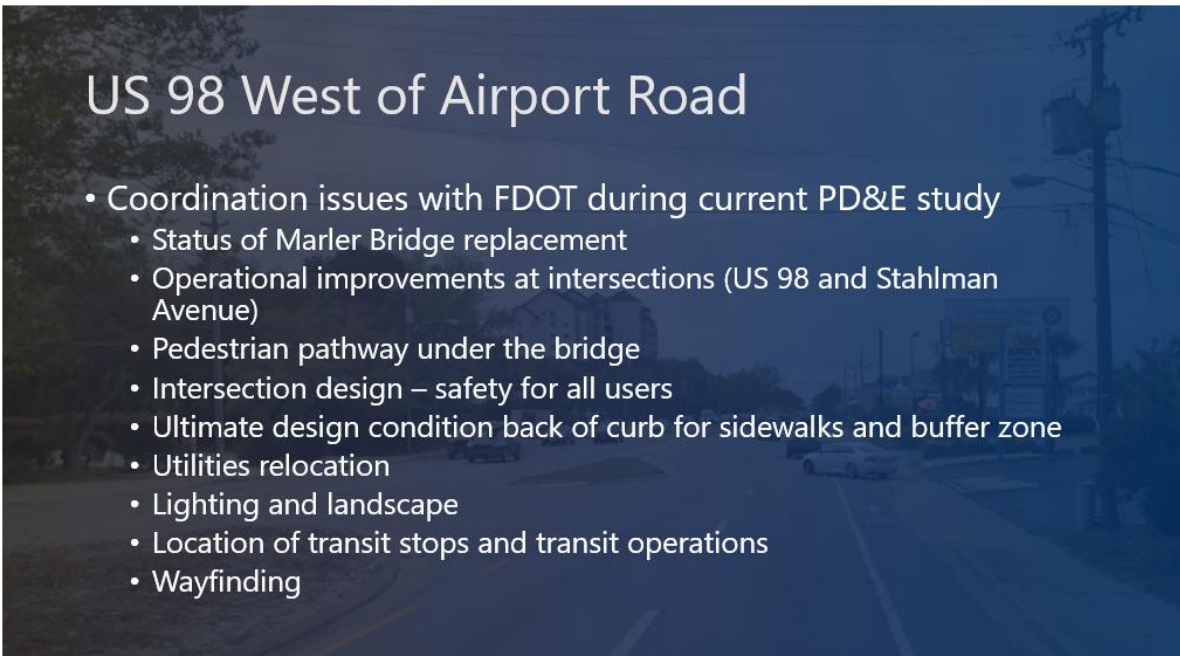


**Airport Road east
of Main Street
Section G**



**Commons Drive
east of Airport
Road
Section H**



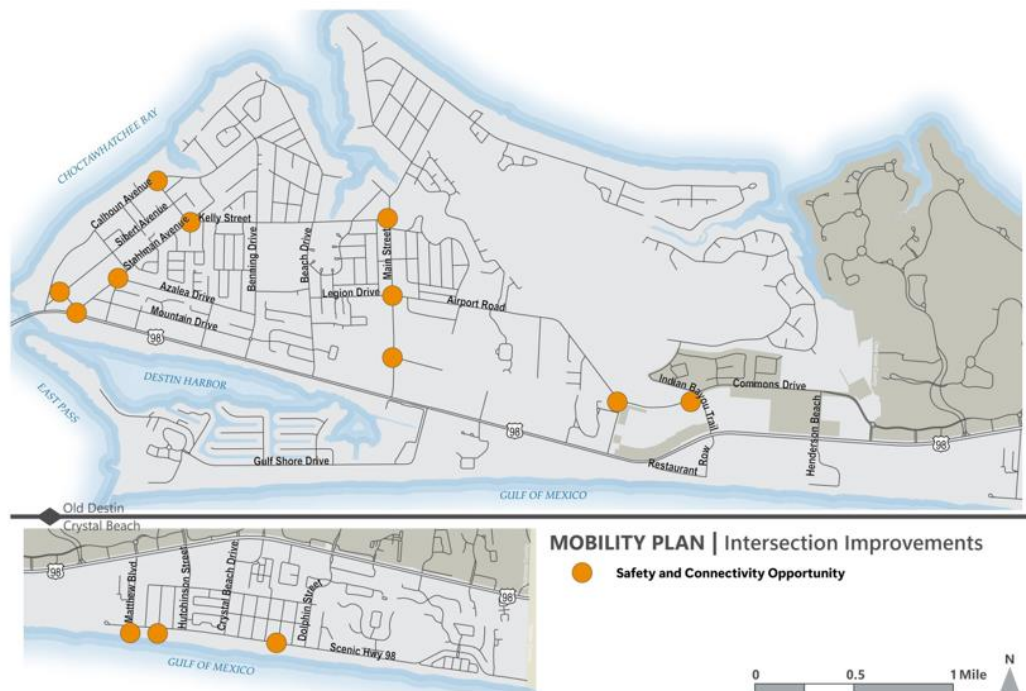


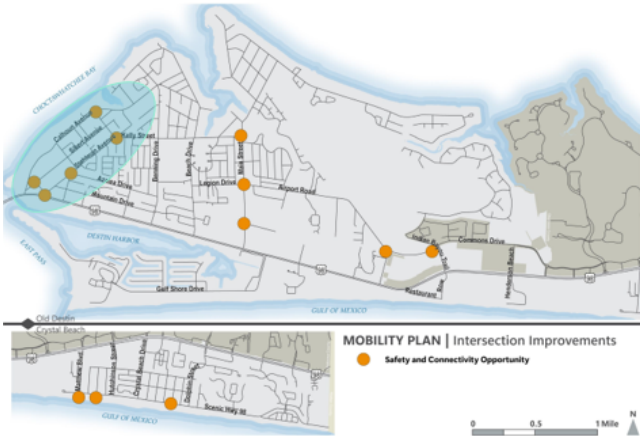
US 98 West of Airport Road

- Coordination issues with FDOT during current PD&E study
 - Status of Marler Bridge replacement
 - Operational improvements at intersections (US 98 and Stahlman Avenue)
 - Pedestrian pathway under the bridge
 - Intersection design – safety for all users
 - Ultimate design condition back of curb for sidewalks and buffer zone
 - Utilities relocation
 - Lighting and landscape
 - Location of transit stops and transit operations
 - Wayfinding

Gulf Shore Drive

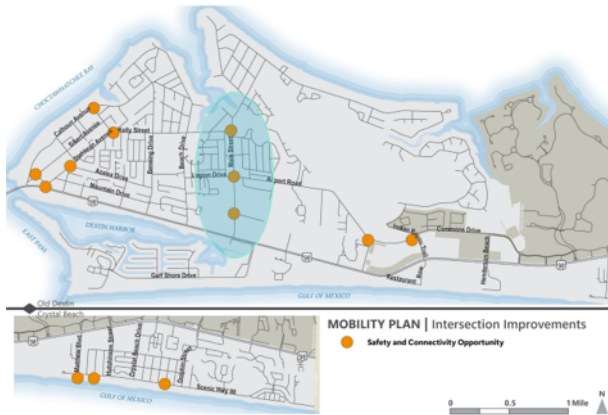
- Better utilization of ROW (lane reassignment) for the four travel lanes and continuous turn lane
- Increase safety for drivers and others
- Pedestrian and bicycle facilities
- Bus stop location and design
- Gateway to Holiday Isle
 - Lighting and landscape





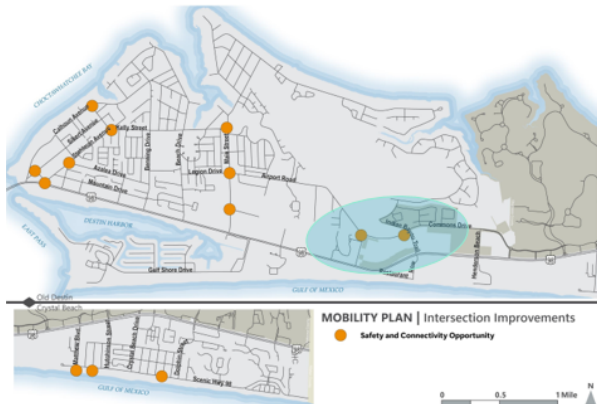
Intersection Improvements West

- Stahlman Avenue/Zerbe Street @ US 98 – Cross Town Connector – Pedestrian facilities linking public parking and Harbor
- Stahlman Avenue @ Azalea Drive – Cross Town Connector – Skew angles and lack of pedestrian crossing
- Stahlman Avenue @ Kelly Street
- Calhoun Avenue @ Sibert Avenue – Pedestrian facilities linking public parking and Harbor
- Calhoun Avenue @ Kelly Street – Traffic calming, east-west bicycle connection



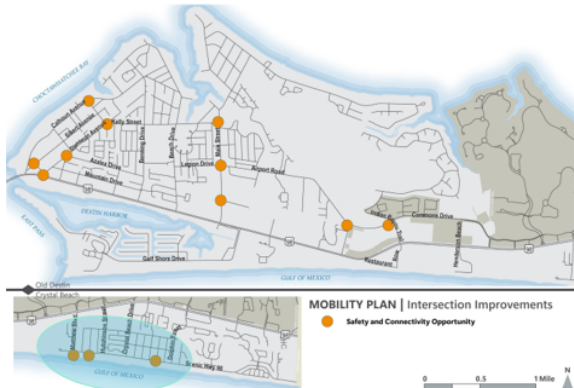
Intersection Improvements Main Street

- Main Street @ Legion Drive/Airport Road – Cross Town Connector, transition between 2 and 4 lane
- Main Street @ 98 Palms Boulevard
- Main Street @ Kelly Street – Pedestrian safety, traffic calming, east-west bicycle connection



Intersection Improvements Commons Drive

- Commons Drive @ Airport Road – Cross Town Connector, connection to Gulf Power Linear Park
- Commons Drive @ Indian Bayou Trail – Cross Town Connector – Bike ramp connection to sidewalk, complete sidewalks and crossings



Intersection Improvements Scenic 98

- Scenic 98 @ Matthew Boulevard – Bicycle and pedestrian connection between US 98 and Scenic 98
- Scenic 98 @ Shirah Street – Mid-block crossing links to beach access
- Scenic 98 @ Pompano Street – Mid-block crossing links to beach access

SMALL PROJECT INITIATIVES

- Construct John Avenue between Dolphin and Sunfish Streets
- Construct Pine Street between Blue Marlin Court and Sibert
- Construct Sailfish Drive between Sailfish Circle and Azalea Drive
- Acquire ROW and construct roadway between Indian Trail and Indian Bayou North
- Roundabout at First and 4th Streets @ Benning Drive
- Provide 6' sidewalks on all local streets in Crystal Beach, prioritize streets with beach accesses to the Gulf
- Transportation infrastructure linked to stormwater improvements

POLICY AND PROJECT INITIATIVES

- Continuous multimodal facilities for east to west connection/Cross Town
- Intersection improvements that address safety and connectivity
- US 98 strategy west of Airport Road
- Gulf Shore Drive reconfiguration
- Improvements at local intersections
- Main Street streetscape improvements
- Coordinated transit and park and ride strategy
- Parking strategy for harbor district
- Gulf Power Linear Park and Trail
- Sidewalks on both sides of street
- Implement sidewalk and other street requirements for new development

Next Steps

- Complete scoping and cost estimating for priority projects
- Update and publish a draft project list
- Map recommended projects
- Vet, refine and prioritize projects

In regards to Dolphin Street and John Avenue, Agency member Buhr asked what the cut between the two would solve. According to Mr. O'Connor, it just linking the two that have never been linked in the past and provide connectivity for everyone. Agency member Buhr then asked if the list is locked or is there still time to make changes and refine it as they go along.

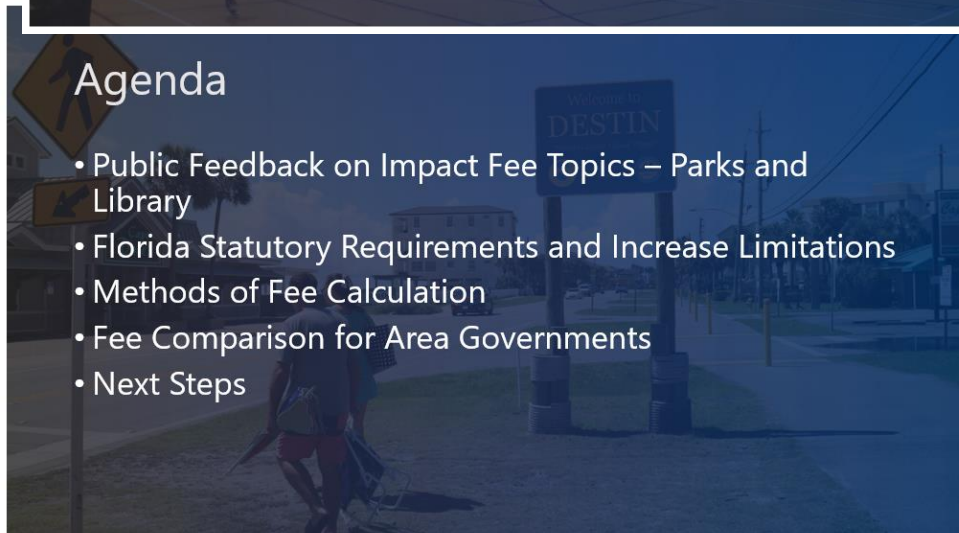
DRAFT

Mr. Zunguze explained that they are just in the initial stages of this and there is time to add input. Agency member Burh then suggested that they look at Sunfish and the connection to Regatta Bay Blvd., alternatively to this plan. Additionally, the problem with people parking on sidewalks is a big problem and suggests considering making some of the streets one-way similar to Rosemary Beach and 30-A as well as a lot of other cities throughout the country in lieu of the 6-foot sidewalks.

Agency member Bell spoke of the disruption of traffic from people entering the gas station on the corner of Gulf Shore Drive and Highway 98 and suggests that for safety sake that the entrance into the gas station right at the corner on Gulf Shore Drive be closed. Noting that there is an additional entrance to it at the shopping center and is an easier access that is not so confounding.

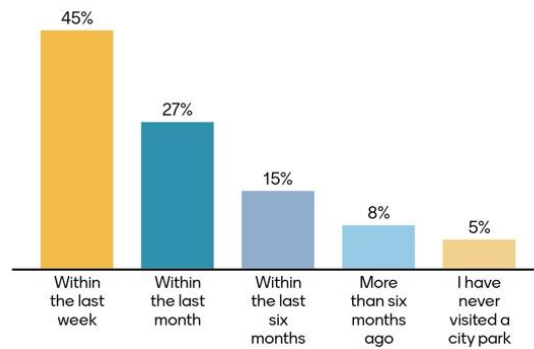
Chairman Wood asked if it is a goal now to install sidewalks on both sides of all roads in the city. He spoke of how homeowners are not always agreeable with sidewalks the city, especially the ones that have very short driveways. He then spoke of the issue he sees a lot with people on Airport Road that are turning left onto Main Street and turn wide into the other lane and causes issues with the people that are on Legion Drive and are wanting to turn right onto Main Street.

B. Impact Fee Study Update



FACILITIES, SERVICES, AND INFRASTRUCTURE

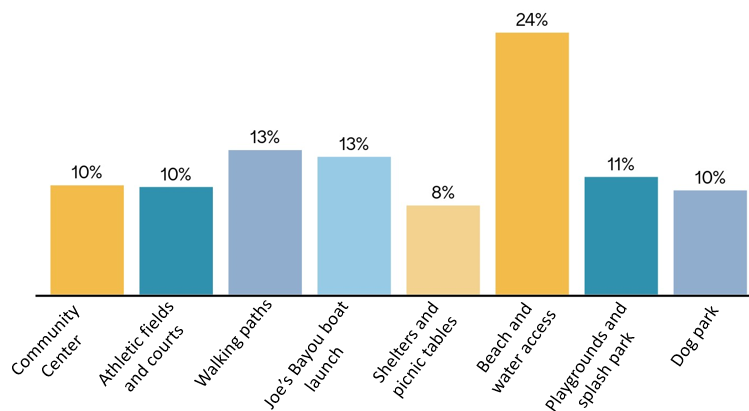
When was the last time you visited a City of Destin park?



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FACILITIES, SERVICES, AND INFRASTRUCTURE

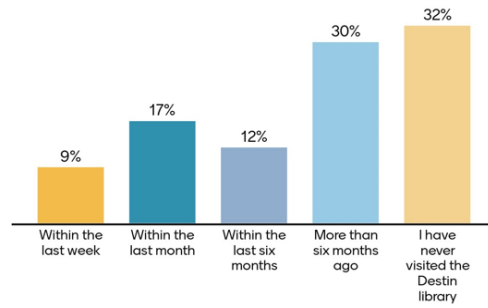
What parks or facilities do you or members of your household use when visiting a City of Destin park?



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FACILITIES, SERVICES, AND INFRASTRUCTURE

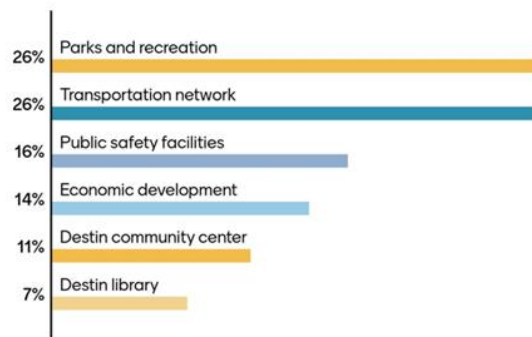
When was the last time you visited the Destin library?



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FACILITIES, SERVICES, AND INFRASTRUCTURE

If you had \$100, what percentage would you spend on the following?



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Legal Parameters for Local Governments

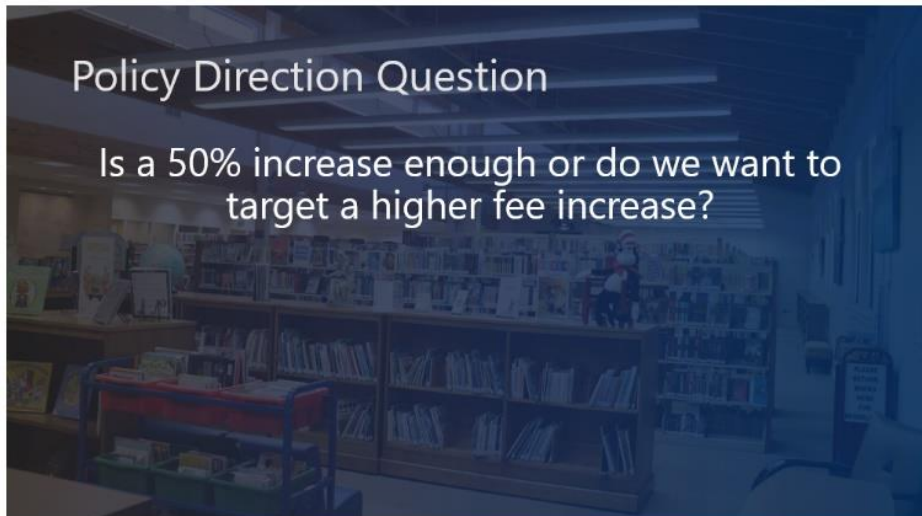
- Impact fees collected must be spent on infrastructure and facilities.
 - Funds cannot be used for maintenance.
 - Projects must be capacity improvements.
- Impact fees cannot cure deficiencies relative to existing level of service.
 - Future users only have to pay for their anticipated share of the expansion.
- Local governments must have a plan for how and when the money will be spent, or it could be considered an exaction.

Florida Statutory Requirements for Increasing Fees

- Base fees on recent and localized data
- Provide notice of increase at least 90 days prior to effective date of ordinance
- Impact Fees may not be increased by more than 50% over 4 years
- Rates cannot be increased by more than 12.5% a year
 - 25% or less – two annual increments
 - 25%-50% - 4 annual increments

Florida Statutory Requirements for Increasing Fees

- A local government may exceed the 50% limitation if
 - The local government completes a demonstrated need study that justifies the increase
 - Demonstrates the extraordinary circumstances necessitating the need to exceed the phase-in limitations
 - Holds at least two publicly noticed workshops
 - Adopts the impact fee increase by at least a two-thirds vote



According to Mr. Zunguze, when this was presented to Council, not all of the members were agreeable to the increases and made the decision to bring this before them to listen and consider at a later timeline.

Types of Fees

- Consumption based
 - Fees determined by calculating the value of improvements as “consumed” by different land uses
 - Level of service = existing value of the system divided by and allocated to existing users of the system
 - Fee = cost per unit of maintaining existing level of service
- Improvement based
 - Fees determined by calculating the value of planned improvements
 - Level of service = policy based standard for each element of the system
 - Fee = proportionate share of planned improvements as limited by existing level of service

Fee Types for Destin

- Parks and Recreation - consumption based
- Library – consumption based
- Public safety – consumption based
- Mobility Fee - improvement based

History and Method of Calculation - Parks

- This fee is based on the existing level of service from 2006
 - Existing LOS calculated by determining total value of property and infrastructure dedicated to Park use
- Level of Service Model
 - Impact fee is based on providing the existing Level of Service for Parks to future residents
 - Formula
 - Impact Fee = Total existing Park Cost (land value and infrastructure costs)/existing EDUs (equivalent dwelling units)
 - Credits are provided for existing debt and other funding sources (State/Federal grants)

Maximum Fee Increases - Parks

Land Use	2007 Recommended Fee	Current Adopted Fee	Maximum Fee Increase Allowed (12.5%/50%)
Typical dwelling unit	\$1,944.00	\$399.00	\$448.88/\$598.50

History and Method of Calculation - Library

- This fee is based on the existing level of service from 2006
 - Existing LOS calculated by determining total value of property and infrastructure for the Destin Library
- Level of Service Model
 - Impact fee is based on providing the existing Level of Service for library services to future residents
- Formula
 - Impact Fee = Total existing Library Cost (land value, building, materials and equipment costs)/existing peak population
 - Cost assessed per dwelling based on average household size
 - Credits are provided for existing debt and other funding sources (State/Federal grants)

Maximum Fee Increases - Library

Land Use	2007 Recommended Fee	Current Adopted Fee	Maximum Fee Increase Allowed (12.5%/50%)
Typical dwelling unit	\$344.00	\$133.00	\$149.63/\$199.50

History and Method of Calculation – Police

- This fee utilizes the “functional population” methodology, which assumes that demand for this service is generally proportional to the presence of people.
 - Functional population represents the number of “full-time equivalent” people at the site of a land use.
- Level of Service Model
 - Impact fee is based on providing the existing Level of Service for police services to future residents
- Formula
 - Impact Fee = Total existing Police Cost (land value and infrastructure costs)/existing functional population
 - Fee assessed per dwelling or 1,000 sq. ft. of nonresidential use

Maximum Fee Increases – Police

Land Use	2007 Recommended Fee	Current Adopted Fee	Maximum Fee Increase Allowed (12.5%/50%)
Typical dwelling unit	\$33.00	\$19.00	\$21.38/\$28.50

History and Method of Calculation - Transportation

- In 2008, this fee was changed from “roads only” to a multimodal fee.
 - Includes capacity, physical improvement and funding needs of both motorized and nonmotorized transportation.
- Improvements Driven Model
 - Formula
 - Impact Fee = Cost of growth-related improvements through 2030 (Roadway capacity projects, bike projects and pedestrian projects)/# of projected EDUs (equivalent dwelling units)

Methods of Calculation – Future Fees

- Transportation
 - Improvement Based Method – Mobility Fee
 - Every need in the Mobility Plan
 - Formula: Roadway capacity projects, bike projects and pedestrian projects, transit, parking
 - Areawide level of service

Impact Fee: Persons per Dwelling Unit Long Term Units Current Policy

Dwelling Size Category	Approximate Midpoint	Average Household Size
Less than 500 SQFT	400	1.028
500-749 SQFT	625	1.294
750-999 SQFT	875	1.539
1,000-1,499 SQFT	1,250	1.850
1,500-1,999 SQFT	1,750	2.201
2,000-2,999 SQFT	2,500	2.646
3,000-3,990 SQFT	3,500	3.148
4,000 or more SQFT	4,500	3.584

Table is from the impact fee study that was the basis for the current fee structure.

Impact Fee: Persons per Dwelling Unit Long Term Units

Housing Type/Bedrooms	Rooms	Avg Sq Ft (parcel)	Avg Destin PP/HH
0-1 Bedroom	1.00	813	1.00
2 Bedrooms	2.00	1,255	1.49
3 Bedrooms	3.00	1,830	2.23
4 Bedrooms	4.00	2,649	2.97
5 Bedrooms	5.00	3,550	3.72
6 + Bedrooms	6.00	4,387	4.46

2.23 persons per household is derived from 2022 population estimates (14,436) divided by Occupied Dwelling Units (6,486). Three bedrooms houses comprise 54% of the non-condo Single Family and SF/Townhouse housing stock in Destin (Parcel data, assessors office, May 2022).

Impact Fee: Persons per Dwelling Unit Short Term Rentals				
Short Term Rental/Bedrooms	Rooms	Max occupancy allowed by code	80% Max	Long Term Units Comparison
0-1 Bedroom	1	6	4.8	1.00
2 Bedrooms	2	8	6.4	1.49
3 Bedrooms	3	10	8	2.23
4 Bedrooms	4	12	9.6	2.97
5 Bedrooms	5	14	11.2	3.72
6 + Bedrooms	6	16	12.8	4.46

Code allows a maximum occupancy of 2 persons per bedroom, plus 4 more. The table shows the maximum, and recommends the impact fees be based on 80% of maximum

Agency member Buhr asked that about the maximum occupancy of 16 allowed, knowing that there are a large number of Bert Harris settlements that the occupancy allows more, would it not behoove the city to have the ability on the chart to have a fee structure correspond to the occupancies that the city could reasonably presume would be developed over the years based on the Bert Harris Settlements on file.

According to Ms. Kopp, the Bert Harris Settlements were individual cases that were settled on existing structures. For all future and existing properties that do not have a settlement agreement, the Code applies. Therefore, there would not be a need to amend the fee schedule.

Residential Impact Fees for Jurisdictions Surrounding Destin – Okaloosa, Santa Rosa, and Walton										
JURISDICTION	Impact Fees Collected	Water	Sewer	Fire Protection	Law Enforcement	Transportation	Parks and Recreation	Stormwater	Library	TOTAL
DESTIN	YES				\$23	\$1,425	\$479		\$160	\$2,087
OKALOOSA COUNTY	NO									
FORT WALTON BEACH	YES	\$1,880	\$600							\$2,480
NICEVILLE	YES	\$4,550	\$2830	\$200				\$269.57		\$7,849.57
SHALIMAR	NO									
CRESTVIEW	YES	\$1,400	\$3,200							\$4,600
MARY ESTHER	YES	\$200 per bedroom		\$337	\$323	\$1,500	\$150	\$300		\$3,210
VALPARAISO	YES			\$295						\$295
LAUREL HILL	YES	\$900		.20 per sq. ft.						\$1,300
CINCO BAYOU	NO									
WALTON COUNTY	NO									
DEFUNIAK SPRINGS	YES - UPDATING	\$3,747.38	\$6,423.75	\$374.22	\$188.14					\$10,733.49
PAXTON	YES - UPDATING	\$400	\$500							\$900
FREEPORT	NO									
SANTA ROSA COUNTY	NO									
GULF BREEZE	YES	\$891	\$4,314							\$5,205
MILTON	YES	\$1383.28	\$3867.86							\$5,251.14
JAY	NO									
IMPACT FEES FOR REGIONAL WATERFRONT JURISDICTIONS (ESCAMBIA, BAY, AND GULF)										
JURISDICTION	Impact Fees Collected	Water	Sewer	Fire Protection	Law Enforcement	Transportation	Parks and Recreation	Stormwater	Library	TOTAL
ESCAMBIA COUNTY	NO RESPONSE									
PENSACOLA	NO									
BAY COUNTY	YES			\$187.44			\$329.87		\$82.75	\$600.06
PANAMA CITY BEACH	YES	\$727	\$4,628	\$249	\$144		\$867		\$72	\$6,687
MEXICO BEACH	YES	\$1,225	\$2,125	\$202	\$103		\$900			\$4,555
GULF COUNTY	NO									
PORT ST. JOE	YES	\$6,913								\$6,913

Residential Impact Fees Comparing Destin Fee Categories

Average Fees for Residential Dwelling Unit

JURISDICTION	Law Enforcement	Transportation	Parks and Recreation	Library	TOTAL (for all fee categories)
DESTIN	\$23	\$1,425	\$479	\$160	\$2,087
MARY ESTHER	\$323	\$1,500	\$150		\$3,210
DEFUNIAK SPRINGS	\$188				\$10,733
BAY COUNTY			\$329	\$82	\$600
PANAMA CITY BEACH	\$144		\$867	\$72	\$6,687
MEXICO BEACH	\$103		\$900		\$4,555

Project Status

- Complete
 - Policy framework, inventory of assets, population projections
- In progress
 - Baseline assumptions, impact by land use, cost estimating, mobility fee project identification
- Next Steps
 - Calculate fees, recommend new fee structure, prepare study report

C. Draft Planned Unit Development Regulations:

According to Mr. O'Connor, from the discussions that took place earlier this year, staff has clarified the purpose and intent of the PUD's and have developed minimum standards for what can become a PUD, to include the minimum area required. What is required of an applicant to request a PUD, community benefit standards, as well as the clear review procedure and process.

Mr. Zunguze explained that since he has been on board, this is the one area that has been most concerned with and this is one that needs to be justified to the community regarding what the applicant clearly wants to do and why.

Chairman Wood asked what the advantage is to the developer to construct a PUD. According to Mr. O'Connor, in the approval process, City Council may change, alter, or modify; or waive the provisions of the Land Development Code.

- 5. **OLD BUSINESS: None**
- 6. **DIRECTOR'S REPORT: None**

7. **ADJOURNMENT:**

Having no further discussion at this time, the meeting adjourned at 6:40 p.m.

Adopted and approved this _____ day of _____ 2022.

James Wood, Jr. Chairman

Kim Montgomery, Destin City Clerk

**LOCAL PLANNING AGENCY
MEETING MINUTES
SEPTEMBER 1, 2022 - 5:30 P.M.
DESTIN CITY HALL BOARDROOM**

1. CALL TO ORDER:

Chairman Wood called the Local Planning Agency Meeting to order on Thursday, September 1, 2022, at 5:30 p.m., in the Destin City Hall Boardroom; with the Pledge of Allegiance immediately following.

2. ROLL CALL:

Members Present

James T. Wood, Jr.
Karen Hudson
Marcie Bell
Corey Ledbetter
Todd Buhr

Members Absent

Staff Members Present

Kim Montgomery City Clerk
Steven O'Connor Principal Planner
Louis Zunguze CD Director
Kimberly Kopp, LUA

3. APPROVAL OF MINUTES:

- July 28, 2022
- August 4, 2022

Agency member Bell made the motion to approve both the July 28, 2022, and the August 4, 2022 minutes as written with Agency member Hudson providing the second. The motion passed 5-0.

4. NEW BUSINESS:

➤ **Proposed Conditional Use 22-32-CU – Calhoun Estates by the Bay**

David Smith of Innerlight Engineering Corp., on behalf of Johnny Boswell, is requesting a Conditional Use (22-32-CU) approval for the use of a 37 short-term residential, detached single-family dwellings to be located at several parcels that front either Calhoun Avenue or Sibert Avenue. The existing site is 5.21 acres. The associated Parcel IDs are the following: 00-2S-22-0310-000D-072G; 00-2S-22-0310-000D-072E; 00-2S-22-0310-000D-0050; 00-2S-22-0310-000D-005A; 00-2S-22-0310-000D-0060; 00-2S-22-0310-000D-0070; 00-2S-22-0310-000D-0080; 00-2S-22-0310-000D-0090.

Mr. O'Connor explained the proposed site is in the Calhoun Avenue Mixed Use - Village (CMU-V) Zoning District. The proposed use of short-term rental residential detached single-family dwellings is conditional in the Calhoun Avenue Mixed Use - Village (CMUV) zoning

district. This is a review of the conditional use only for the short term rental use. The Planned Unit Development (PUD) Major Development Order and Major Subdivision is currently being reviewed by the Technical Review Committee (TRC) for full compliance with the City LDC and Comprehensive Plan. Additionally, City Council will consider and make their determination on the project at the required public hearings, once approved by the TRC. The following includes a review and analysis of the proposed use based on the Future Land Use Element of the Comprehensive Plan and criteria for conditional uses outlined in the Land Development Code.

Motion by Agency member Bell, seconded by Agency member Hudson to recommend City Council City Council approve Conditional Use 22-32-CU with the condition that the applicant include mitigative techniques to address potential impacts of the development including noise, light, parking, and trash.

In discussion, the Chairman asked the applicant if there are any plans for on-street parking. According to Mr. Smith there will be no on-street parking. Chairman Wood then asked about the buffering requirements and if there were plans for any more than the 5-feet. Mr. Smith answered that there are not any plans to add any additional landscape buffering.

According to the Land Use Attorney Kimberly Kopp, per code, the requirements are 5-feet unless they decide to have more added as part of the Conditional Use Approval.

Agency member Buhr questioned if the noticing requirements for the abutting properties were duly notified within the required 300-feet of the subject property.

According to Mr. O'Connor, staff did send out the letters to the abutting property owners based off the information obtained from the Property Appraisers website and currently, they have not received any comments from anyone. However, the letter was just specific to just the Development Order, PUD and Subdivision and did not address the short term rental Conditional Use. He informed the members that in the morning, staff will be sending out another abutting letter to all properties with the short term rental request included as part of the Conditional Use.

Ms. Kopp pointed out to the Agency members that the information for the Conditional Use request is properly signed on the property as well as the advertisement had the proper information and with staff resending an updated abutter letter in the morning, this will all be done before this project goes to City Council for final approval.

Agency member Bell spoke of how in light of this, she feels that the abutter notices should have had all the correct information regarding the Conditional Use, prior to coming before them at this meeting.

Ms. Kopp stated that if they feel that the public has not been afforded the proper notice, they can move to table to the next Local Planning Agency meeting and the abutter notices will be resent with all the correct information in the letter.

Agency member Bell asked if the Conditional Use for short term rental was applied for at the initial time of receiving the application for the project or afterwards. According to Mr. O'Connor, the Conditional Use came afterwards.

Motion by Agency member Bell to table this request until the next Local Planning Agency Meeting and the abutting owners are notified of the Conditional Use that's being asked for. Agency member Buhr provided the second.

Agency member Buhr asked if the Conditional Use is approved, is it attached to the property whether it's used or not. According to the Ms. Kopp, that is correct. It is attached to the property, and if it's sold to another property owner, that property owner has the right to use it or not.

Agency member Bell stipulated for the record, the reason she is making her substitute motion is not because she believes that staff made a mistake, it is because the short term rental request came in after-the-fact. Additionally, she stated that she does not think it's fair that the surrounding properties and the citizens of Destin were not notified appropriately before she makes a decision.

The motion passed 4-1 with Agency member Ledbetter dissenting.

Ms. Kopp asked the applicant if he wanted to respond.

According to Mr. Smith, they made application for a PUD Major Subdivision and in March they were advised by staff that they would have to ask for the short term use as Conditional Use. He spoke of how he feels there are some inconsistencies in the Code that pertains to what is allowed in the Calhoun Mixed Use zoning district. Explaining that the language in the Calhoun Mixed Use Village zoning district reads, "The area shall redevelop as a Mixed Use area, accommodating a primarily a medium to high density long term and short term residential uses." Then in table 7-2, it states seasonal short term residential uses are a Conditional Use. Explaining that inconsistency is why they had a delay in filing thier application.

Ms. Kopp inquired to the Agency member if their intentions were to continue to the next LPA meeting or to a date certain. According to Agency member Buhr, it should be properly noticed as well as abutting letters are sent out to all within the required area. Ms. Kopp stated that at this time she is unsure of the date of the meeting but as soon as staff determines that the letters

are sent out and the hearing is properly advertised, staff will notify them of the date of when the next meeting will be.

5. OLD BUSINESS: None

6. DIRECTOR'S REPORT:

Mr. Zunguze informed the members that currently the two CRA Master Plans are being worked on and will be coming before them sometime soon. Additionally, they staff intends to have annotated draft for Article 4 at their next meeting.

Agency member Bell asked Mr. O'Connor about the Recreation Master Plan that would be coming before them at some point.

According to Mr. O'Connor, Chapter 7 of the Comprehensive Plan deals with Open Space Recreation, and prior to that Chapter coming before this board, staff wanted to go before the Parks & Recreation Committee to get their take on those policies that could affect the LDC rewrite, since they are the custodians of that chapter and staff identified a clear need for a Parks and Recreation Master Plan.

Mr. Zunguze added that at this point, staff does not have any direction for a Parks & Recreation Master Plan.

7. ADJOURNMENT:

Having no further discussion at this time, the meeting adjourned at 6:40 p.m.

Adopted and approved this _____ day of _____ 2022.

James Wood, Jr. Chairman

Kim Montgomery, Destin City Clerk

CITY OF DESTIN – COMMUNITY DEVELOPMENT



AGENDA ITEM

MEETING DATE: October 13, 2022
BOARD/COMMITTEE: Local Planning Agency
TYPE OF AGENDA ITEM: Action Item
OUTLINE NUMBER: 5.A.

TO: Local Planning Agency

THRU: Lance Johnson, City Manager
Louis Zunguze, Community Development Director
Kimberly Kopp, Land Use Attorney

FROM: Steve O'Connor, Principal Planner

DATE: October 5, 2022

SUBJECT: Article 4- Mobile-Manufactured Homes

I. BACKGROUND: On September 22, 2022 Staff brought the draft Annotated Land Development Code **Article 4 - Zoning Districts, Overlays and On-Site Regulations** to the Local Planning Agency (LPA) for discussion and recommendation to City Council. During that meeting, the LPA recommended tabling the discussion on Mobile and Manufactured homes to get more information and clarification from Staff before making a recommendation.

II. DISCUSSION: As discussed at the September 22, 2022 LPA meeting, Mobile or Manufactured homes are only allowed in the **Bay Estates (BE)** zoning district as a Conditional Use. While a Mobile Home Development is a Conditional Use in the **High-Density Residential district**. Mobile or manufactured homes provide another alternative for housing options; though they are perceived to not fit in, character-wise, with surrounding neighborhoods, there can be standards or regulations required when a Mobile/Manufactured home is proposed as housing.

Tonight's discussion will focus on what the City can and cannot impose on developments/projects that propose Mobile or Manufacture homes. To begin with, according to the **U.S. Department of Housing and Urban Development (HUD)** a factory-built home prior to June 15, 1976 is a mobile home and one built after June 15, 1976 is a manufactured home. Both are originally built on permanent chassis that allow for easy transportation from factory to the site. Mobile and manufactured homes generally are tied down or anchored but not affixed to a permanent foundation. However, there are processes that an owner can go through to affix the mobile or manufactured home to a permanent

foundation.

The difference between a Mobile or Manufactured home and Modular homes is how they are inspected. Mobile or manufactured homes' construction is regulated and inspected by HUD, while a modular home would be constructed according to and inspected by the local governing body, i.e., the Florida Building Code in Destin's case.

The Florida State Statutes say the following regarding how local municipalities can regulate Mobile and Manufactured Homes:

Florida State Statutes section 553.38: The department shall enforce every provision of the Florida Building Code adopted pursuant hereto, except that local land use and zoning requirements, fire zones, building setback requirements, side and rear yard requirements, site development requirements, property line requirements, subdivision control, and onsite installation requirements, as well as the review and regulation of architectural and aesthetic requirements, are specifically and entirely reserved to local authorities. ***Such local requirements and rules which may be enacted by local authorities must be reasonable and uniformly applied and enforced without any distinction as to whether a building is a conventionally constructed or manufactured building.*** (Emphasis added.)

Further, in 2002, Marion County's ordinance prohibiting manufactured housing in **R-1 Zoning** based on aesthetic concerns was challenged by the State's Department of Community Affairs. The Court found that Marion County had violated Florida State Statutes based on the State Legislature's preemption of local governments' ability to regulate construction standards for mobile and manufactured homes. **Therefore, municipalities must treat mobile and manufactured homes equally as they do other types of housing.**

- A. Link to Strategic Goals / Objectives:** #4. Enhanced quality of life and safety for families
#6. Effective, efficient, and aesthetically pleasing infrastructure
- B. Effect on Budget (EOB):** N/A
- C. Level of Service (LOS):** Develop and implement processes for consistent and streamlined application of codes and procedures.
- D. Legislative Sponsor:**

III. CONCLUSION: In light of the State's Statutes regarding mobile or manufactured homes, Staff's recommendations are as follows:

- 1. Update the City's definition of mobile or manufactured homes to be consistent with the States definition**
- 2. Update all references to mobile or manufactured homes to reflect mobile/manufactured homes to be consistent with the States nomenclature.**
- 3. Maintain the use table as is regarding where mobile/manufactured homes are allowed.**

Staff has provided this report to the LPA in response to tabling the Mobile and Manufactured home discussion until Staff brings back more information. Staff is seeking

the LPA's formal recommendation to City Council. City Council will have a workshop regarding Article 4 tentatively scheduled for October 27, 2022.

IV. RECOMMENDED MOTION: I move that the LPA forward a positive recommendation of the recommended changes and updates to the LDC as presented.

Attachments:

1. Memo 9.25.22 Manufactured/Mobile Homes

TO: Louis Zunguze, Community Development Director
Steve O'Conner, Principal Planner

FROM: Kimberly Romano Kopp, City Land Use Attorney

RE: **LDC Amendments on Mobile/Manufactured Housing**

DATE: September 25, 2022

Federal and state laws pre-empt local governments from imposing their own construction standards for mobile/manufactured homes. Additionally, Florida state law prohibits local governments from imposing restrictions on mobile/manufactured homes that don't apply to other residential structures, including zoning restrictions.

Specifically, section 553.38, Florida Statutes, reads as follows:

The department shall enforce every provision of the Florida Building Code adopted pursuant hereto, except that local land use and zoning requirements, fire zones, building setback requirements, side and rear yard requirements, site development requirements, property line requirements, subdivision control, and onsite installation requirements, as well as the review and regulation of architectural and aesthetic requirements, are specifically and entirely reserved to local authorities. **Such local requirements and rules which may be enacted by local authorities must be reasonable and uniformly applied and enforced without any distinction as to whether a building is a conventionally constructed or manufactured building.** (Emphasis added.)

In *Marion County v. Department of Community Affairs*, 817 So2d 1062 (5th DCA 2002), Marion County passed an ordinance that permanently prohibited manufactured housing in R-1 zoning districts based on aesthetic concerns. The Department of Community Affairs challenged the ordinance on the grounds that it violated F.S. §553.38. After considering all the arguments, the court found Marion County's ordinance to have violated the provisions of §553.38, stating:

The Florida Legislature has expressly preempted local governments in the area of construction standards for mobile home and manufactured buildings. The legislature has additionally gone one step further by stating that any other local regulations involving mobile homes or manufactured buildings must be reasonably and uniformly applied and enforced without any distinction as to whether the building is conventionally built or manufactured. The courts have interpreted this additional language as an implied preemption that prevents local governments from imposing restrictions on mobile home or manufactured buildings solely because the structure is not conventionally built. Therefore, local governments must enact regulations that treat all types of housing equally.

A similar result was reached by the Attorney General of the State of Florida in AGO 87-37. Consistent with the above, however, the City may implement architectural and aesthetic requirements uniformly applicable to all building methods.

For the above reasons, I recommend that any amendment to the LDC apply equally to residential structures whether they are manufactured or conventionally built. Additionally, let's discuss amendments to the existing LDC relating to manufactured homes. Please let me know if you'd like to meet to discuss existing provisions relating to manufactured/mobile homes.

CITY OF DESTIN – COMMUNITY DEVELOPMENT



AGENDA ITEM

MEETING DATE: October 13, 2022
BOARD/COMMITTEE: Local Planning Agency
TYPE OF AGENDA ITEM: Action Item
OUTLINE NUMBER: 5.B.

TO: Local Planning Agency

THRU: Lance Johnson, City Manager
Louis Zunguze, Community Development Director
Kimberly Kopp, Land Use Attorney

FROM: Steve O'Connor, Principal Planner

DATE: October 4, 2022

SUBJECT: Zoning District Consolidation

I. BACKGROUND: On April 5, 2021, Staff brought the Scope of Work and Budget to completely rewrite the Land Development Code for approval to the City Council, both of which were approved unanimously. Since that time, Staff has worked with the consultants of 3TP to diligently and systematically move forward with drafting the new LDC. This work to date has involved the following:

- **Review of Comprehensive Plan Policies**
- **Developing Planning Areas and their associated Intent Statements**
- **Review of the LDC text chapter by chapter**

The current work involves the review and comparative analysis of the current 30+ Zoning Districts and Overlays in the City.

II. DISCUSSION: Staff began the work to do this by reviewing the **uses** and **dimensional characteristics** that define each zoning district. Then comparing the **similarities** and **differences** between **residential, mixed use, commercial, institutional, industrial, and recreational districts**. The purpose of the comparative analysis is to identify possible consolidation of zoning districts based on **uses, character-defining elements** and a **review of the quantity of parcels zoned in a particular district**.

The presentation provided as an attachment to this report, is Staff's comparative analysis of the zoning districts and consolidation recommendations based on the analysis. Below

summarizes Staff's recommended district consolidation.

Residential Districts

Low-Density Districts

- Bay Estates (BE)
- Low Density Residential – Village (LDR-V) & Harbor (LDR-H) - ***Consolidate to one District***
- Low Density Residential - Holiday Isle (LDR-HI)

Medium & High-Density Districts

- Medium-Density Residential - Village (MDR-V)
- Medium-Density Residential HI (MDR-HI) & High-Density Residential (HDR) - ***Consolidate to one District***
- Crystal Beach Neighborhood (CBN)

Mixed-Use Districts

- Residential, Office, Institutional - Tourism Development (ROI-TD) & Crystal Beach Resort (CBR) - ***Consolidate to one District***
- Residential, Office, Institutional - Crystal Beach Residential
- Residential, Office, Institutional - Village Residential
- Calhoun Mixed Use & Calhoun Mixed Use - Village - ***Consolidate to one District***
- North Harbor Mixed Use
- South Harbor Mixed Use
- Town Center Mixed Use
- Gulf Resort Mixed Use
- Holiday Isle Mixed Use & Bay Resort Mixed Use - ***Consolidate to one District***

Commercial Districts

- Commercial Limited & Commercial General - ***Consolidate to one District***
- Commercial Trades and Services

Other Zoning Districts

- Recreational
- Conservation
- Institutional
- Industrial
- Airport

- A. Link to Strategic Goals / Objectives:** #2. A green and sustainable environment
#3. Improve mobility and connectivity
#4. Enhanced quality of life and safety for families
#5. Economic development and revitalization
#6. Effective, efficient, and aesthetically pleasing infrastructure
- B. Effect on Budget (EOB):** Budget for this work is already approved
- C. Level of Service (LOS):** Develop and implement processes for consistent and streamlined application of codes and procedures.
- D. Legislative Sponsor:**

III. CONCLUSION: Using the Staff's analysis, the number of Zoning Districts would be reduced from 28 to 22 . Staff is seeking a discussion and possibly a formal recommendation to City Council on the recommended Zoning District Consolidations.

IV. RECOMMENDED MOTION: I move that the LPA forward a positive recommendation of the recommended Zoning District Consolidations as presented and with any changes recommended by the LPA.

Attachments:

1. Zoning Consolidation Presentation

ZONING DISTRICTS

Comparative Analysis

Community Development

Planning Division





Zoning Analysis: What and Why

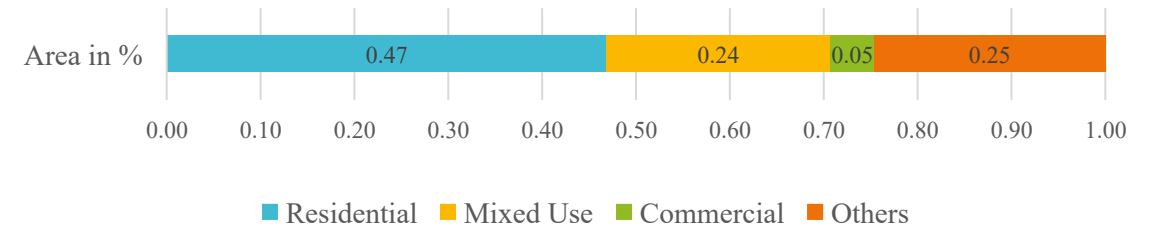
WHAT:

- Putting the existing zoning districts into concise and flexible districts.
- Categorizing the zoning districts with similar developments standards and land use in groups (if rationally possible).
- Aligning the zones to Planning Areas.



WHY:

- Land Development Code (1991) had 16 zoning districts.
- Currently, 28 zoning districts
- Several districts have redundant development standards and land uses.
- Current zoning structure is unnecessarily complex.





Zoning District Comparative Analysis: How



Analyzing the Zoning Districts

Comparative Zoning Analysis





Residential Zoning Districts

Comparative Zoning Analysis



Zoning Analysis: Residential

Existing Residential Zoning Districts: LDC

Bay estate (BE)

Crystal Beach Neighborhood (CBN)

High Density Residential (HDR)

Low Density Residential - Village (LDR-V)

Low Density Residential - Harbor (LDR-H)

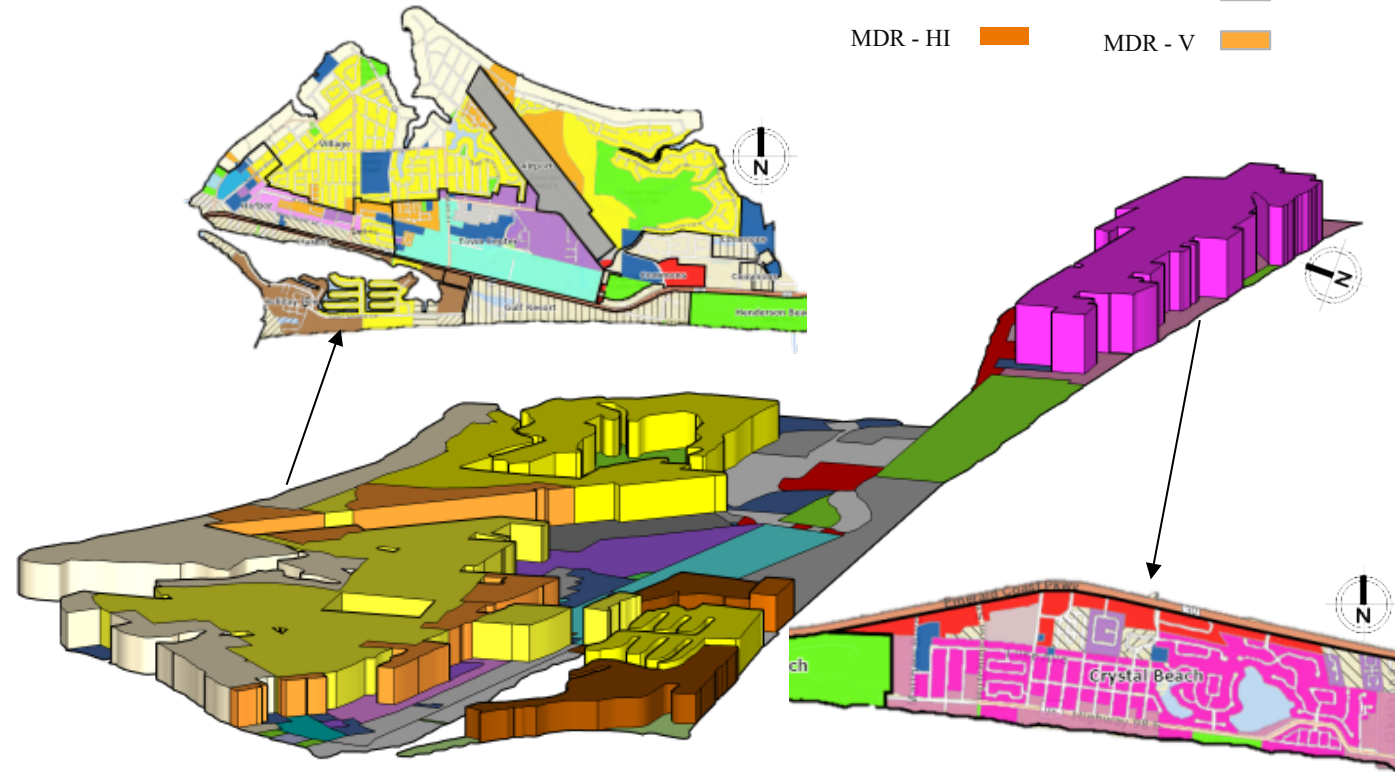
Low Density Residential - Holiday Isle (LDR-HI)

Medium Density Residential - Village (MDR-V)

Medium Density Residential - Holiday Isle (MDR-HI)

LEGEND:

BE		LDR - H	
CBN		LDR - HI	
HDR		LDR - V	
MDR - HI		MDR - V	





Zoning Analysis: LDR-V, LDR-H, and LDR-HI

INTENTS:

LDR-V

Allows **permanent single-family** detached residential dwelling units and prohibits STRs, commercial living accommodation and all non-residential uses.

LDR-H

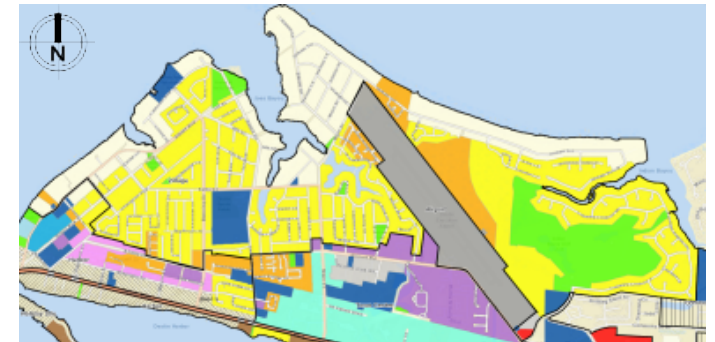
Allows **permanent single-family** detached residential dwelling units and prohibits STRs, commercial living accommodation and all non-residential uses.

LDR-HI

Allows **permanent and seasonal (STR) single-family** detached residential dwelling units and strictly prohibits multi-family uses, commercial living accommodation and all non-residential uses.

BE

Allows **permanent single-family** detached residential dwelling units and strictly prohibits multi-family uses, seasonal single-family detached or multi-family attached residential dwelling units, commercial living accommodation and all non-residential uses.





Zoning Analysis: LDR-V, LDR-H, and LDR-HI

Allowable uses

	LDR-V	LDR-HI	LDR-H	BE
Permanent or long-term residential uses				
Single-family detached dwelling	P	P	P	P
Single room occupancy housing	P	P	P	P
Seasonal or short-term residential uses				
Single-family detached dwelling		P		
Other residential uses				
Community residential home, small (1—6)	P	P	P	P
Family day care home	P	P	P	P
Distribution electric substation (16)	P	P	P	P
Uses and structures which are customarily accessory, clearly incidental and subordinate to permitted uses and structures, including home occupations and off-site businesses.	A	A	A	A

Dimensions (feet)

	LDR-V	LDR-HI	LDR-H	BE
Minimum Lot Area (sq.ft)	7500	7500	7500	15000
Width	70	70	70	80
Depth	100	100	100	150
Maximum Building Height	35/3 stories	30/3 stories	35/3 stories	35/3 stories
Setbacks				
Front	20	20	20	20
Side	7.5	7.5	7.5	10
Rear	10	10	10	10
Maximum Density (units per acre)	5.81	5.81	5.81	2.90
Maximum Floor Area Ratio	N/A	N/A	N/A	N/A
Minimum Open Space (%)	25	30	25	25

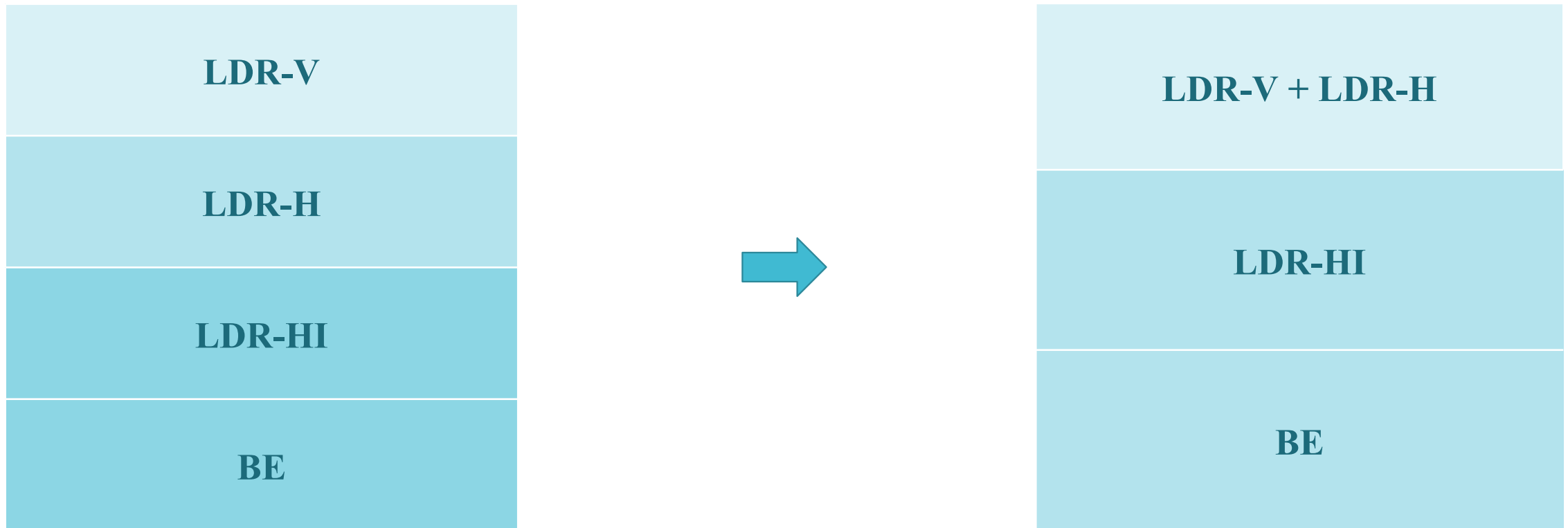
Footnotes:

(16) Refer to Section [Section 7.09.02\(B\)12](#) for further information.



Zoning Analysis: Recommendations

RECOMMENDED LOW DENSITY RESIDENTIAL ZONING DISTRICTS :





Zoning Analysis: MDR-V, MDR-HI, HDR, and CBN

INTENTS:

MDR-V

Only allows **permanent single-family detached and multi-family attached residential uses** and prohibits STRs, commercial living accommodation and all non-residential uses.

MDR-HI

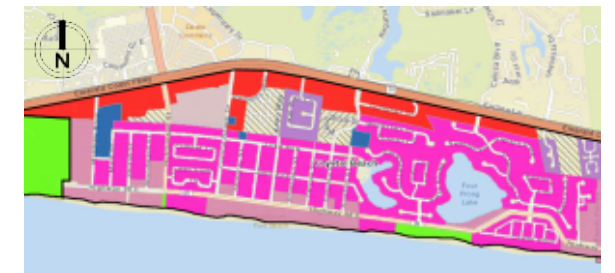
Allows **permanent and seasonal (STR) single-family detached and multi-family attached** uses but prohibits commercial living accommodation and all non-residential uses.

HDR

Allows **permanent and seasonal (STR) single-family detached and multi-family attached** uses but prohibits commercial living accommodation and all non-residential uses.

CBN

Allows **permanent and seasonal (STR) single-family detached and multi-family attached** uses and very **limited non-residential** uses but prohibits commercial living accommodations.





Zoning Analysis: MDR-V, MDR-HI, HDR, and CBN

Allowable uses

	MDR-V	MDR-HI	HDR	CBN
Permanent or long-term residential uses				
Single-family detached dwelling	P	P	P	P
Multi-family attached dwelling	P	P	P	C
Mobile home development			C	
Guest house (1)	P	P	P	P
Accessory dwelling	P	P	P	P
Single room occupancy housing	P	P	P	P
Seasonal or short-term residential uses				
Single-family detached dwelling		P	P	P
Multi-family detached dwelling		P	P	C
Other residential uses				
Community residential home, small (1—6)	P	P	P	P

Footnotes:

- (1) Guest houses are permitted only if the owner of the subject property occupies the primary dwelling as his/her main residence. However, guest houses shall not be rented out separately from the main residence and (refer to Section [Section 7.12.04.M](#))



Zoning Analysis: MDR-V, MDR-HI, HDR, and CBN

Allowable uses (cont'd)

	MDR-V	MDR-HI	HDR	CBN
Other residential uses				
Community residential home, small (1—6)	P	P	P	P
Community residential home, large (7—14)	P	C	C	C
Family day care home	P	P	P	P
Distribution electric substation (16)	P	P	P	P
Child day care services				C
Museums, historical sites, zoos, and parks (10)				P
Religious organizations				P
Uses and structures which are customarily accessory, clearly incidental and subordinate to permitted uses and structures, including home occupations and off-site businesses.	A	A	A	A

Footnotes:

(16) Refer to Section [Section 7.09.02\(B\)12](#) for further information.

(10) Zoos are only allowed in the Industrial zoning district.



Zoning Analysis: MDR-V, MDR-HI, HDR, and CBN

Dimensions (feet)

	MDR-V		MDR-HI		HDR		CBN		
	1	2/more	1	2/more	1	2/more	1	2/more	non
Dwelling Units									
Minimum Lot Area (sq.ft)	7500	None	7500	None	7500	None	7500	None	None
Width	70	None	70	None	70	None	70	None	None
Depth	100	None	100	None	100	None	100	None	None
Maximum Building Height	35/3	35 / 3	30 / 3	35 / 3	30 / 3	50 / 4	30 / 3	50 / 4	50 / 4
Setbacks									
Front	20	A/B	20	A/B	20	H	20	20	20
Side	7.5	A/B	7.5	A/B	7.5	H	7.5	A/B	A/B
Rear	10	A/B	10	A/B	10	H	10	A/B	A/B
Maximum Density (units per acre)	5.81	9.90	5.81	9.90	9.90	19.90	6.00	6.00	N/A
Maximum Floor Area Ratio	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	0.50
Minimum Open Space (%)	25	25	30	25	30	25	30	25	25



Zoning Analysis: MDR-V, MDR-HI, HDR, and CBN

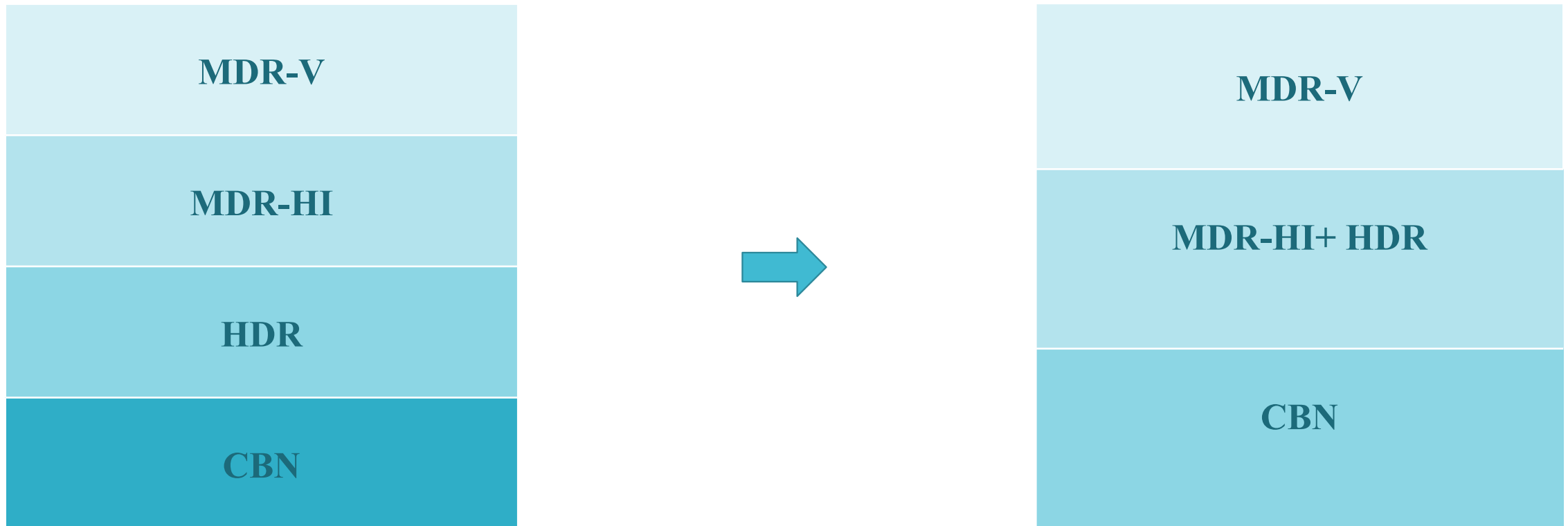
Footnotes:

- A. For all structures three stories in height, the minimum front setback shall be 20 feet, the minimum side setback shall be 15 feet on each side and the minimum rear setback shall be 20 feet. For all buildings exceeding three stories in height, the minimum front setback shall be 20 feet, the minimum side setback shall be 20 feet and increased by two feet on each side for each story exceeding four stories, and a minimum 25-foot rear yard setback shall be required.
- B. For all structures two stories or less in height, the minimum front setback shall be 20 feet, and no side or rear yards are required except where property line is contiguous with residential district boundary; then a ten-foot yard, maintained as open space, shall be provided. Within the Old Destin MMTD, no minimum front setback is required.
- H. The following setbacks shall apply to developments proposed in the HDR, CMU and HIMU zoning districts.
- i. **Front setback.** For those properties that front U.S. Highway 98, 15 feet minimum to 25 feet maximum for any portion of a building having a height below 40 feet. For any portion of a building having a height above 40 feet, the front setback shall be a minimum of 45 feet. For those properties that do not have frontage on U.S. Highway 98, ten feet minimum to 20 feet maximum for any portion of a building having a height of 40 feet or less. For any portion of a building having a height above 40 feet, the front setback shall be a minimum of 30 feet.
 - ii. **Side setbacks.** Zero feet for any portion of a building having a height of 35 feet or less. Fifteen feet for any portion of a building having a height above 35 feet but below 50 feet. For each ten feet or fraction thereof exceeding 50 feet in height, the side setback shall be increased by two feet on each side.
 - iii. **Rear setback.** For lots fronting the harbor: Zero feet. For lots fronting the Choctawhatchee bay: rear setback must meet the requirements set forth in section 11.01.10 Bay shoreline protection zone. For lots fronting the gulf the rear setback will be established by DEP. For all lots that do not front the harbor, bay or the gulf, but instead have a rear property line, ten feet for any portion of a building having a height of 35 feet or less. Fifteen feet for any portion of a building having a height above 35 feet but below 50 feet. For each ten feet or fraction thereof exceeding 50 feet in height, the rear setback shall be increased by two feet on each side.



Zoning Analysis: Recommendations

RECOMMENDED OTHER RESIDENTIAL ZONING DISTRICTS:





Zoning Analysis: Recommendations

- Consolidate LDR-V and LDR-H
- Consolidate MDR-HI and HDR
- Consider childcare, neighborhood parks, religious uses as permitted or conditional uses within Residential zoning districts.



Child Care



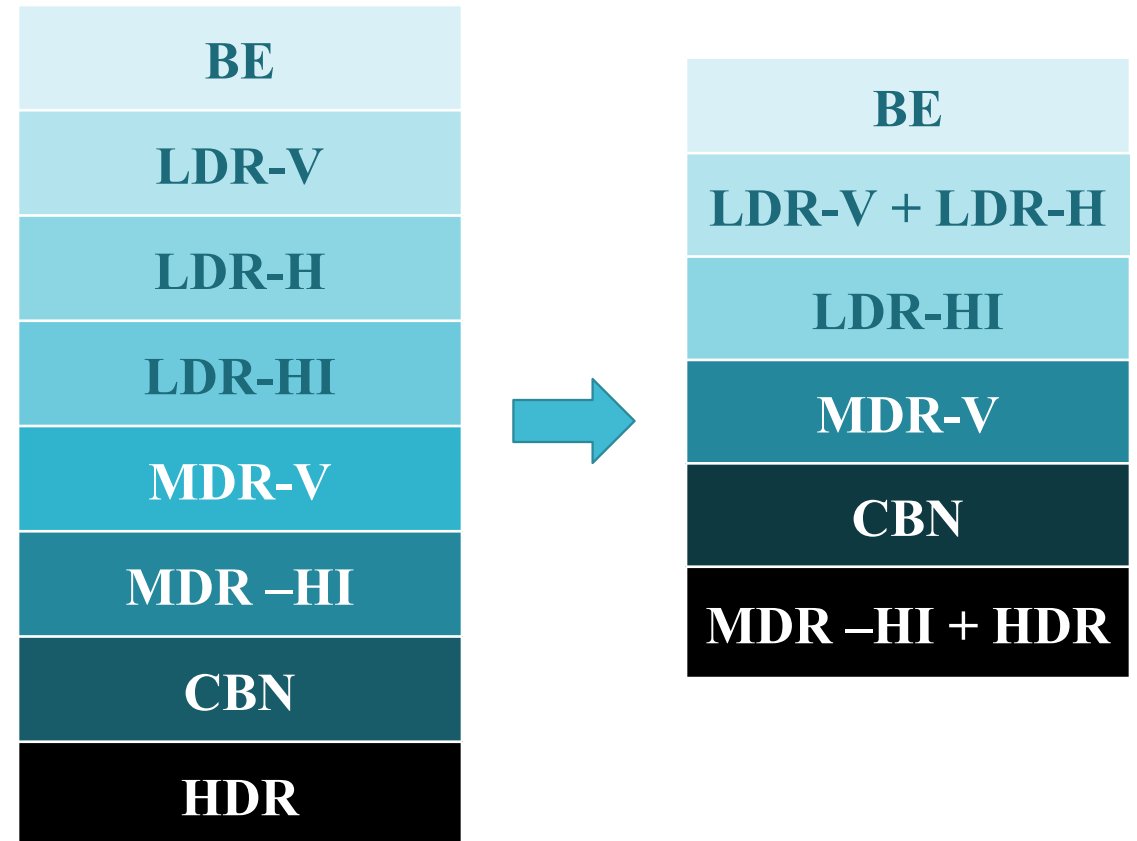
Neighborhood
Parks



Religious
Use

- Reconsider permitted and conditional usage in Residential zoning districts

RECOMMENDED RESIDENTIAL ZONING DISTRICTS:





Mixed-use Zoning Districts

Comparative Zoning Analysis



Zoning Analysis: Mixed Use

Mixed-Use:

Different compatible land uses located within a single structure or in the proximity to each other.



Live



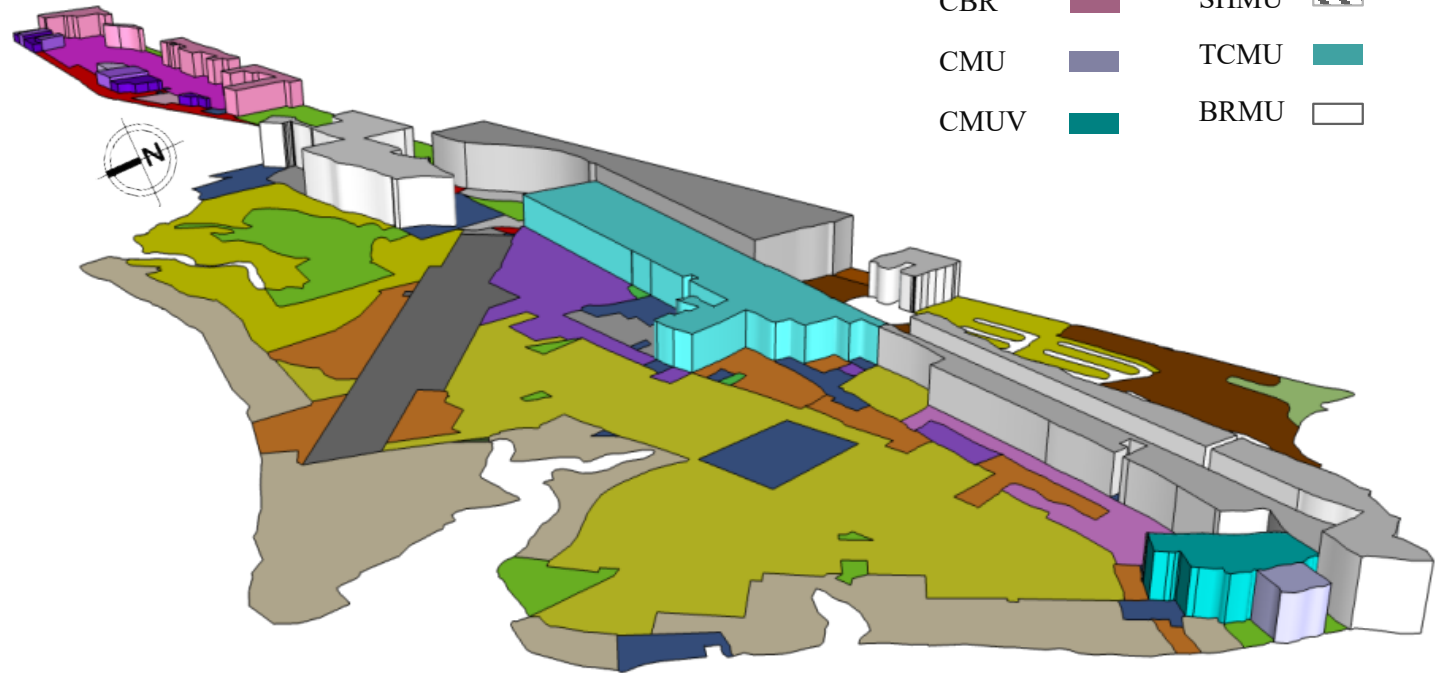
Work



Leisure

LEGEND:

ROI-CBR	GRMU
ROI-TD	HIMU
ROI-VR	NHMU
CBR	SHMU
CMU	TCMU
CMUV	BRMU





Zoning Analysis: Mixed Use

Existing Mixed-Use and other zoning districts:

**Residential, Office, and Institutional -
Village Residential (ROI - VR)**

**Residential, Office, and Institutional -
Tourist Development (ROI - TD).**

**Residential, Office, and Institutional – Crystal
Beach Residential (ROI - CBR)**

Town Center Mixed Use (TCMU)

Crystal Beach Resort (CBR)

Calhoun Mixed Use (CMU)

Calhoun Mixed Use – Village (CMU-V)

North Harbor Mixed Use (NHMU)

South Harbor Mixed Use (SHMU)

Gulf Resort Mixed Use (GRMU)

Holiday Isle Mixed Use (HIMU)

Bay Resort Mixed Use (BRMU)



Zoning Analysis: ROI-TD, ROI-VR, ROI-CBR, and CBR

INTENTS:

ROI-TD

Intends to specifically **not allow permanent** single-family detached or multi-family attached residential dwelling units.

ROI-VR

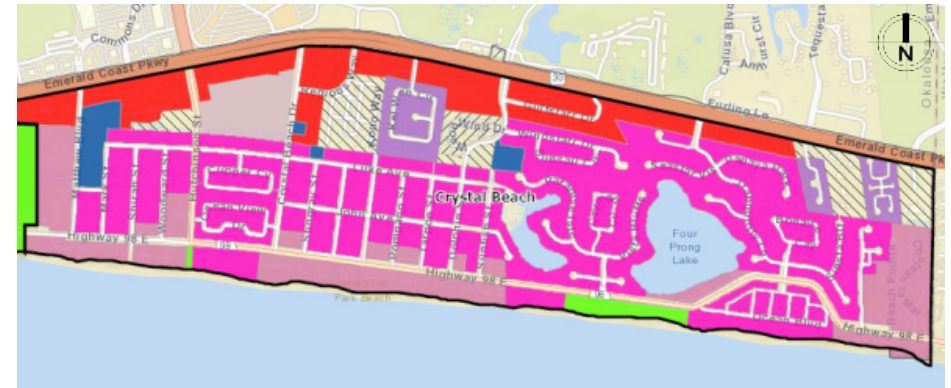
Intends to specifically **not allow seasonal** single-family detached residential dwelling units.

ROI-CBR

Intends to specifically allow **permanent or seasonal single-family detached** residential dwelling units. Single occupancy.

CBR

Intends to allow both **permanent and short-term** residential uses. Permits limited non-residential uses.





Zoning Analysis: ROI-TD, ROI-VR, ROI-CBR, and CBR

Allowable uses

	ROI-TD	ROI-VR	ROI-CBR	CBR
Permanent or long-term residential uses				
Single-family detached dwelling		P	P	P
Multi-family attached dwelling		C		P
Guest house (1)	P	C		P
Accessory dwelling	P	C		P
Seasonal or short-term residential uses				
Single-family detached dwelling	P		P	P
Multi-family attached dwelling	P			P
Other residential uses				
Community residential home, large (7-14)		C		C
Family day care home		P	P	P

Footnotes:

- (1) Guest houses are permitted only if the owner of the subject property occupies the primary dwelling as his/her main residence. However, guest houses shall not be rented out separately from the main residence and (refer to Section [Section 7.12.04.M](#))



Zoning Analysis: ROI-TD, ROI-VR, ROI-CBR, and CBR

Allowable uses (cont'd)

	ROI-TD	ROI-VR	ROI-CBR	CBR
Printing and related support activities	P	C		
Clothing and clothing accessories stores	P	C		
Book, periodical, and music stores	P ³	C		P ⁴
Other general merchandise stores	P ³	C		P ⁴
Florists	P ³	C		P ⁴
Office supplies, stationery, and gift stores	P ³	C		P ⁴
Printing and related support activities	P	C		
Used merchandise stores	C ⁸	C		
Thrift stores	C ⁸	C		
Other miscellaneous store retailers	P ³	C		P ⁴
Interurban and rural bus transportation	P	C		
School and employee bus transportation	P	C		

Footnotes:

- (1) Guest houses are permitted only if the owner of the subject property occupies the primary dwelling as his/her main residence. However, guest houses shall not be rented out separately from the main residence and (refer to Section [Section_7.12.04.M](#))
3. Is allowed but must be integrated in a planned unit development designed to support the surrounding residential neighborhoods.
4. Neighborhood retail commercial goods and services shall not exceed 5,500 square feet and shall be designed primarily to serve the needs of the Crystal Beach resort area.
8. Must meet minimum distance separation requirements, refer to the definition of the use in question in [article 3](#) of the Land Development Code.



Zoning Analysis: ROI-TD, ROI-VR, ROI-CBR, and CBR

Allowable uses (cont'd)

	ROI-TD	ROI-VR	ROI-CBR	CBR
Postal service	P	C		P
Couriers and messengers	P	C		
Internet publishing and broadcasting	P	C		
ISPs, search portals, and data processing	P	C		
Other information services	P	C		
Finance and Insurance	P	C		P
Real Estate services	P	C		P
Consumer goods rental	P	C		P
Professional and technical services	P	C		P
Veterinary services	P	C		P
Management of companies and enterprises	P	C		P
Management of companies and enterprises	P	C		P

Allowable uses (cont'd)

	ROI-TD	ROI-VR	ROI-CBR	CBR
Administrative and support services	P	C		P
Janitorial services	P	C		P
Waste management and remediation services	C	C		
Elementary and secondary schools	P	C		
Junior colleges	P	C		
Colleges and universities	P	C		
Business, computer and management training	P	C		
Technical and trade schools	P	C		
Other schools and instruction	P	C		
Educational support services	P	C		
Ambulatory health care services	P	C		P
Hospitals	P	C		



Zoning Analysis: ROI-TD, ROI-VR, ROI-CBR, and CBR

Allowable uses (cont'd)P

	ROI-TD	ROI-VR	ROI-CBR	CBR
Nursing care facilities	P	C		
Residential mental health facilities	C	C		
Community care facilities for the elderly		C		
Other residential care facilities		C		
Social assistance	P	C		
Child day care services	P	C		C
Performing arts and spectator sports		C		P
Museums, historical sites, zoos, and parks (10)	C	C		C
All other amusement and recreation industries	C	C		
Hotels and motels	P			P
Bed-and-breakfast inns	P			P
Other traveler accommodation, C.T.L.A. (12)	P			P

Allowable uses (cont'd)

	ROI-TD	ROI-VR	ROI-CBR	CBR
Personal and laundry services	P	C		
Dry cleaning and laundry services	P	C		
Pet care (except veterinary) services	P	C		P
Membership associations and organizations	P	C		P
Religious organizations	P	C		P

Footnotes:

(10) Zoos are only allowed in the Industrial zoning district.

(12) Commercial transient living accommodations.



Zoning Analysis: ROI-TD, ROI-VR, ROI-CBR, and CBR

<i>Dimensions (feet)</i>	ROI-TD		ROI-VR		ROI-CBR	CBR		
Dwelling Units	1	2+	1	2+	1	1	2+	Non
Minimum Lot Area (sq.ft)	7,500	None	7,500	None	7,500	7,500	None	None
Width	70	None	70	None	70	70	None	None
Depth	100	None	100	None	100	100	None	None
Maximum Building Height	30/3 stories	30/3 stories/E	35/3 stories	35/3 stories/E	35/3 stories	30/3 stories	50/4 stories	50/4 stories
Setback								
Front	20	A/B	20	A/B	20	20	M	M
Side	7½	A/B	7½	A/B	7½	7½	M	M
Rear	10	A/B	10	A/B	10	10	M	M
Maximum Density (units per acre)	9.00	12.00	9.00	12.00	9.00	6.00	12.00	12.00
Maximum Floor Area Ratio	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Minimum Open Space (%)	30	25	25	25	25	30	25	25



Zoning Analysis: ROI-TD, ROI-VR, ROI-CBR, and CBR

Footnotes:

- A. For all structures three stories in height, the minimum front setback shall be 20 feet, the minimum side setback shall be 15 feet on each side and the minimum rear setback shall be 20 feet. For all buildings exceeding three stories in height, the minimum front setback shall be 20 feet, the minimum side setback shall be 20 feet and increased by two feet on each side for each story exceeding four stories, and a minimum 25-foot rear yard setback shall be required.
- B. For all structures two stories or less in height, the minimum front setback shall be 20 feet, and no side or rear yards are required except where property line is contiguous with residential district boundary; then a ten-foot yard, maintained as open space, shall be provided. Within the Old Destin MMTD, no minimum front setback is required.

E. For those properties that abut U.S. Highway 98, the height may be extended to a maximum of 50 feet and four stories.

M. The following setbacks shall apply to developments proposed in the CBR, BRMU and GRMU zoning districts:

I. Front setback.

- For those properties located in the CBR and BRMU zoning districts, ten feet minimum and no maximum.
- For those properties in the GRMU zoning district and that front U.S. Highway 98, 15 feet minimum to 25 feet maximum for any portion of a building having a height below 40 feet. For any portion of a building having a height above 40 feet, the front setback shall be a minimum of 45 feet.
- For those properties in the GRMU zoning district that do not have frontage on U.S. Highway 98, ten feet minimum to 20 feet maximum for any portion of a building having a height of 40 feet or less. For any portion of a building having a height above 40 feet, the front setback shall be a minimum of 30 feet.
- For those properties in the GRMU zoning district that have frontage on that portion of Scenic Highway 98 lying west of Henderson Beach State Park, zero feet minimum to ten feet maximum.

II. Side setbacks.

Ten feet for any portion of a building having a height of 35 feet or less. Fifteen feet for any portion of a building having a height above 35 feet but below 50 feet. For each ten feet or fraction thereof exceeding 50 feet in height, the side setback shall be increased by two feet on each side.

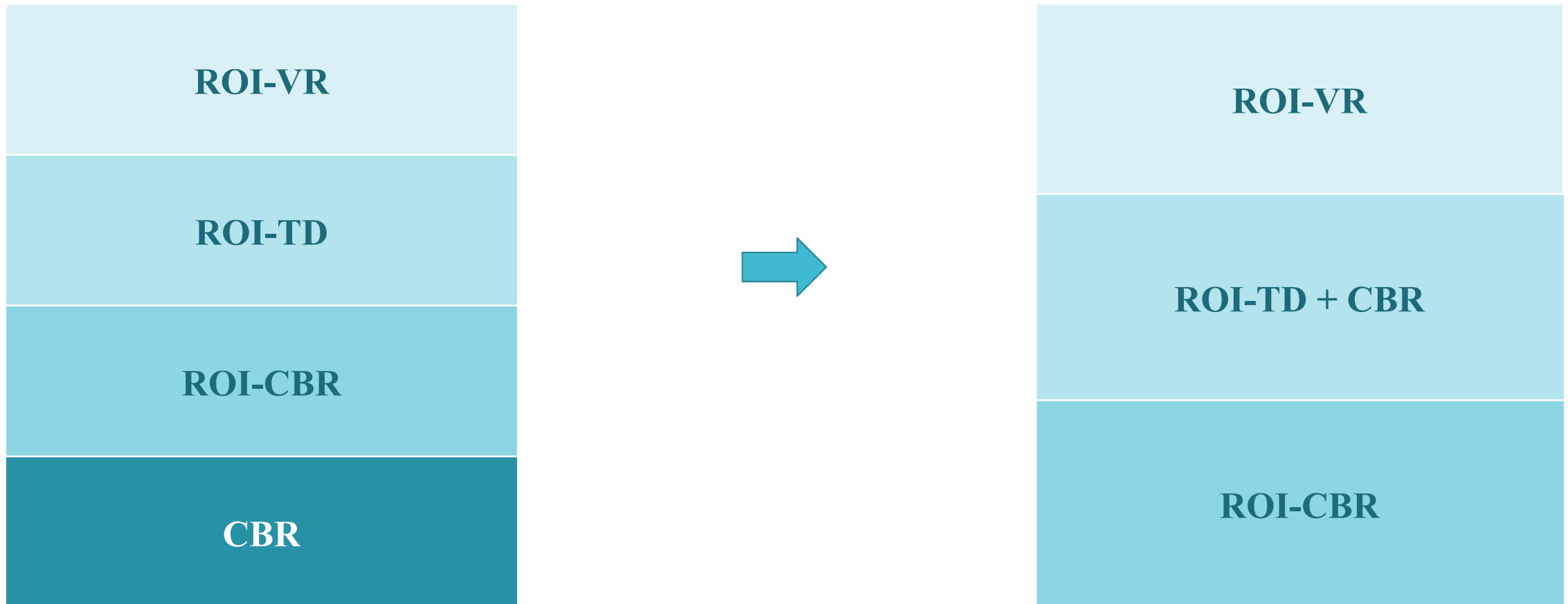
III. Rear setback.

For lots fronting the gulf the rear setback will be established by DEP. For all lots that do not front the gulf, ten feet for any portion of a building having a height of 35 feet or less. Fifteen feet for any portion of a building having a height above 35 feet but below 50 feet. For each ten feet or fraction thereof exceeding 50 feet in height, the rear setback shall be increased by two feet.



Zoning Analysis: Recommendations

RECOMMENDED MIXED USE ZONING DISTRICTS:





Zoning Analysis: CMU and CMU-V

INTENTS:

CMU

Intends to provide a transition between high intensity south harbor and the low intensity ROI. This area shall be developed, redeveloped and/or maintained with permanent or seasonal residential and non-residential uses to serve adjacent Old Destin area.

CMU-V

Intends to preserve the character of the nearby "Old Destin" area, and to provide a transition between high intensity south harbor and the low intensity residential areas. This area shall have permanent or seasonal medium to high density residential, and non-residential uses to serve adjacent Old Destin area.





Zoning Analysis: CMU and CMU-V

Allowable uses

	CMU	CMU-V
Permanent or long-term residential uses		
Multi-family attached dwelling	P	C
Guest house (1)		C
Accessory dwelling		C
Seasonal or short-term residential uses		C
Single-family detached dwelling	P	
Multi-family attached dwelling	P	C
Other residential uses		
Community residential home, small (1—6)	P	C
Family day care home	P	C
Distribution electric substation (16)	P	
Beer, wine, and liquor stores		P

Footnotes:

(1) Guest houses are permitted only if the owner of the subject property occupies the primary dwelling as his/her main residence. However, guest houses shall not be rented out separately from the main residence and (refer to Section [Section 7.12.04.M](#))

(16) Refer to Section [Section 7.09.02\(B\)12](#) for further information



Zoning Analysis: CMU and CMU-V

<i>Allowable uses (cont'd)</i>	CMU	CMU-V
Child day care services	P	C
Performing arts and spectator sports	P	C
Amusement arcades	C	P
Marinas	P	C
Fitness and recreational sports centers	P	C
Bowling centers	P	C
All other amusement and recreation industries	P	C
Hotels and motels	P	C
Bed-and-breakfast inns	P	C
Other traveler accommodation, C.T.L.A. (12)	P	C

<i>Allowable uses (cont'd)</i>	CMU	CMU-V
Health and personal care stores and medical marijuana treatment center dispensing facilities 20		P
Clothing and clothing accessories stores	P	
Other general merchandise stores	P	
Other miscellaneous store retailers	P	C
Urban transit systems	P	
Interurban and rural bus transportation	P	
Scenic and sightseeing transportation, land	P	C
Scenic and sightseeing transportation, water	P	C
Conference/convention center	P	C
Consumer goods rental	P	C
Other schools and instruction	P	C
Educational support services	P	C

Footnotes:

(12) Commercial transient living accommodations.



Zoning Analysis: CMU and CMU-V

Dimensions (feet)

	CMU			CMU-V		
Dwelling Units	1	2+	Non	1	2+	Non
Minimum Lot Area (sq.ft)	7,500	None	None	5,000	None	None
Width	70	None	None	50	None	None
Depth	100	None	None	100	None	None
Maximum Building Height	35/3 stories	50/4 stories	50/4 Stories/F	35/3 stories	50/4 stories	F
Setback						
Front	20	H	H	20'	H	H
Side	7½	H	H	7½'	H	H
Rear	10	H	H	10'	H	H
Maximum Density (units per acre)	6.00	12.00	N/A	9.00	12.00	N/A
Maximum Floor Area Ratio	N/A	N/A	.50	N/A	N/A	0.50
Minimum Open Space (%)	25	25	25	25	25	25



Zoning Analysis: CMU and CMU-V

Footnotes:

F. Office, neighborhood retail commercial goods and services, restaurant, and similar commercial uses have a maximum height of 35 feet/two stories.

H. The following setbacks shall apply to developments proposed in the HDR, CMU and HIMU zoning districts.

- i. **Front setback.** For those properties that front U.S. Highway 98, 15 feet minimum to 25 feet maximum for any portion of a building having a height below 40 feet. For any portion of a building having a height above 40 feet, the front setback shall be a minimum of 45 feet. For those properties that do not have frontage on U.S. Highway 98, ten feet minimum to 20 feet maximum for any portion of a building having a height of 40 feet or less. For any portion of a building having a height above 40 feet, the front setback shall be a minimum of 30 feet.*
- ii. **Side setbacks.** Zero feet for any portion of a building having a height of 35 feet or less. Fifteen feet for any portion of a building having a height above 35 feet but below 50 feet. For each ten feet or fraction thereof exceeding 50 feet in height, the side setback shall be increased by two feet on each side.*
- iii. **Rear setback.** For lots fronting the harbor: Zero feet. For lots fronting the Choctawhatchee bay: rear setback must meet the requirements set forth in section 11.01.10 Bay shoreline protection zone. For lots fronting the gulf the rear setback will be established by DEP. For all lots that do not front the harbor, bay or the gulf, but instead have a rear property line, ten feet for any portion of a building having a height of 35 feet or less. Fifteen feet for any portion of a building having a height above 35 feet but below 50 feet. For each ten feet or fraction thereof exceeding 50 feet in height, the rear setback shall be increased by two feet on each side.*



Zoning Analysis: SHMU and NHMU

INTENTS:

SHMU

Intends to encourage commercial hotel, motel, bed and breakfast establishments, other commercial transient living accommodations, and short-term residential uses. Residential uses shall be prohibited within the SHMU area, unless such residential developments incorporate a minimum of 4,500 square feet of "publicly leasable commercial space"

NHMU

Intends to allow permanent and seasonal single-family and multi-family attached / detached residential dwelling units commercial hotel, motel, bed and breakfast establishments and other commercial transient living accommodations; retail; service; restaurant; office; and similar commercial uses





Zoning Analysis: SHMU and NHMU

Allowable uses

	SHMU	NHMU
Automobile dealers		C
Kitchen cabinet stores		P
Grocery stores		P
Gasoline stations		P
Water transportation	P	
Amusement arcades	C	P
Marinas	P	
Automotive repair and maintenance		P
Boat and motorcycle repair		P
Parking lots and garages (public & private)		P
Religious organizations		P

Dimensions (feet)

	SHMU			NHMU		
Dwelling Units	1	2+	Non	1	2+	Non
Minimum Lot Area (sq.ft)	7,500	None	None	7,500	None	None
Width	70	None	None	70	None	None
Depth	100	None	None	100	None	None
Maximum Building Height	30/3 stories	50/4 stories /G	35/3 stories /G	35/3 stories	50/4 stories	35/3 stories
Setbacks						
Front	20	N	N	20	K	K
Side	7½	N	N	7½	K	K
Rear	10	N	N	10	K	K
Maximum Density (units per acre)	9.00	24	N/A	9.00	24	N/A
Maximum Floor Area Ratio	N/A	N/A	0.60	N/A	N/A	0.60
Minimum Open Space (%)	30	25	25	25	25	25



Zoning Analysis: SHMU and NHMU

Footnotes:

G. Please refer to the footnotes 1 through 3 of Table 1-13: general development standards for "SHMU" designated land of Policy 1-2.4.3(3) of the comprehensive plan for information on maximum building height and measurement of building height.

N. The following setbacks shall apply to developments proposed in the SHMU zoning district:

- i. **Front setback.** For those properties that front U.S. Highway 98, 16 feet minimum to 26 feet maximum for any portion of a building having a height below 40 feet. For those properties that do not have frontage on U.S. Highway 98, ten feet minimum to 20 feet maximum for any portion of a building having a height of 40 feet or less. For any portion of a building having a height above 40 feet, the front setback shall be a minimum of 45 feet.*
- ii. **Side setbacks.** Zero feet for any portion of a building having a height of 35 feet or less. Fifteen feet for any portion of a building having a height above 35 feet but below 50 feet. For each ten feet or fraction thereof exceeding 50 feet in height, the side setback shall be increased by two feet on each side.*
- iii. **Rear setback.** Note: For lots that have a rear lot line on the harbor, a minimum setback of 15 feet shall apply in order to have enough space for the Harbor Boardwalk to be constructed when said boardwalk cannot be constructed over the Destin Harbor. Properties must still provide for the Harbor Boardwalk in accordance with Section 8.09.03(A)(9). For lots that have a rear lot line on Choctawhatchee Bay: rear setback must meet the requirements set forth in Section 11.01.10, Bay shoreline protection zone. For all lots that do not have a rear lot line on the harbor or the bay, but instead have a rear property line: Zero feet.*



Zoning Analysis: GRMU, HIMU, and BRMU

INTENTS:



Intends to allow permanent and seasonal residential single-family detached and multi-family attached residential uses, commercial uses, commercial transient accommodations.



Intends to allow permanent and seasonal residential single-family detached and multi-family attached residential uses, commercial uses, commercial transient accommodations.



Intends to accommodate a mixture of residential, hotel, office, commercial and recreational uses.





Zoning Analysis: GRMU, HIMU, and BRMU

Allowable uses

	GRMU	HIMU	BRMU
Permanent or long-term residential uses			
Single-family detached dwelling	P	C	P
Single room occupancy housing	P	P	
Seasonal or short-term residential uses			
Luxury motor home resort	P		P
Other residential uses			
Community residential home, small (1—6)	P	C	C
Family day care home	P	C	C
Fish and seafood merchant wholesalers			P
Specialty food stores	P		P
Beer, wine, and liquor stores			P
Health and personal care stores and medical marijuana treatment center dispensing facilities 20			P

Allowable uses (cont'd)

	GRMU	HIMU	BRMU
Gasoline stations	P		P
Sporting goods and musical instrument stores	P		P
Water transportation		P	
Mini-warehouse and self-storage leasing	C		
Boat, vehicle, equipment, etc., storage leasing			P
Janitorial services	P	P	
Performing arts and spectator sports	P		P
Marinas		P	
Bowling centers	P		P
Dry cleaning and laundry services	P	P	



Zoning Analysis: GRMU, HIMU, and BRMU

Dimensions (feet)

	GRMU			HIMU			BRMU		
	1	2+	Non	1	2+	Non	1	2+	Non
Dwelling Units									
Minimum Lot Area (sq.ft)	7,500	None	None	7,500	None	None	7,500	None	None
Width	70	None	None	70	None	None	70	None	None
Depth	100	None	None	100	None	None	100	None	None
Maximum Building Height	50/4 stories	50/4 stories	65/5 stories	50/4 stories	50/4 stories	50/4 stories	35/3 stories	50/4 stories/P	50/4 stories/P
Setback									
Front	20	M	M	20	H	H	20	M	M
Side	7½	M	M	7½	H	H	7½	M	M
Rear	10	M	M	10	H	H	10	M	M
Maximum Density (units per acre)	9.00	24.00	N/A	9.00	16.90	N/A	9.00	16.90	N/A
Maximum Floor Area Ratio	N/A	N/A	1.30	N/A	N/A	1.30	N/A	N/A	.75
Minimum Open Space (%)	30	25	25	30	25	25	25	25	25



Zoning Analysis: GRMU, HIMU, and BRMU

Footnotes:

H. The following setbacks shall apply to developments proposed in the HDR, CMU and HIMU zoning districts.

- i. **Front setback.** For those properties that front U.S. Highway 98, 15 feet minimum to 25 feet maximum for any portion of a building having a height below 40 feet. For any portion of a building having a height above 40 feet, the front setback shall be a minimum of 45 feet. For those properties that do not have frontage on U.S. Highway 98, ten feet minimum to 20 feet maximum for any portion of a building having a height of 40 feet or less. For any portion of a building having a height above 40 feet, the front setback shall be a minimum of 30 feet.*
- ii. **Side setbacks.** Zero feet for any portion of a building having a height of 35 feet or less. Fifteen feet for any portion of a building having a height above 35 feet but below 50 feet. For each ten feet or fraction thereof exceeding 50 feet in height, the side setback shall be increased by two feet on each side.*
- iii. **Rear setback.** For lots fronting the harbor: Zero feet. For lots fronting the Choctawhatchee bay: rear setback must meet the requirements set forth in section 11.01.10 Bay shoreline protection zone. For lots fronting the gulf the rear setback will be established by DEP. For all lots that do not front the harbor, bay or the gulf, but instead have a rear property line, ten feet for any portion of a building having a height of 35 feet or less. Fifteen feet for any portion of a building having a height above 35 feet but below 50 feet. For each ten feet or fraction thereof exceeding 50 feet in height, the rear setback shall be increased by two feet on each side.*

M. The following setbacks shall apply to developments proposed in the CBR, BRMU and GRMU zoning districts:

*I. **Front setback.***

- a. For those properties located in the CBR and BRMU zoning districts, ten feet minimum and no maximum.*
- b. For those properties in the GRMU zoning district and that front U.S. Highway 98, 15 feet minimum to 25 feet maximum for any portion of a building having a height below 40 feet. For any portion of a building having a height above 40 feet, the front setback shall be a minimum of 45 feet.*
- c. For those properties in the GRMU zoning district that do not have frontage on U.S. Highway 98, ten feet minimum to 20 feet maximum for any portion of a building having a height of 40 feet or less. For any portion of a building having a height above 40 feet, the front setback shall be a minimum of 30 feet.*
- d. For those properties in the GRMU zoning district that have frontage on that portion of Scenic Highway 98 lying west of Henderson Beach State Park, zero feet minimum to ten feet maximum.*

*II. **Side setbacks.** Ten feet for any portion of a building having a height of 35 feet or less. Fifteen feet for any portion of a building having a height above 35 feet but below 50 feet. For each ten feet or fraction thereof exceeding 50 feet in height, the side setback shall be increased by two feet on each side.*

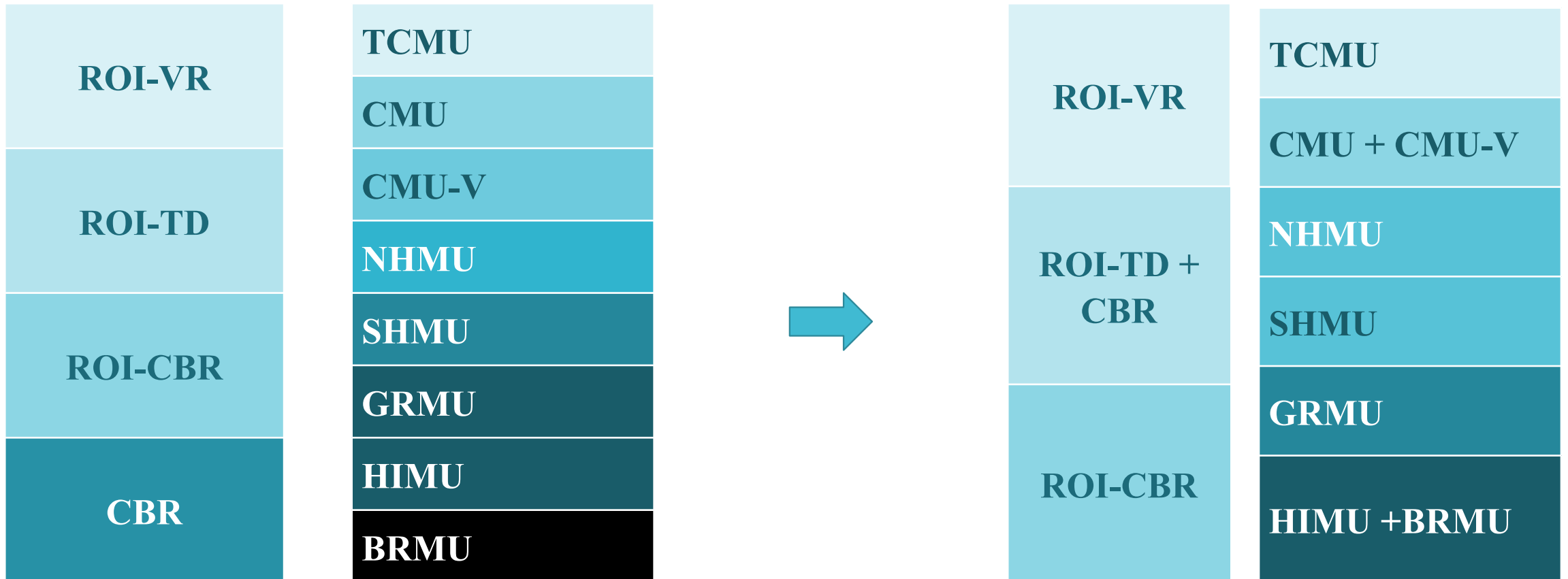
*III. **Rear setback.** For lots fronting the gulf the rear setback will be established by DEP. For all lots that do not front the gulf, ten feet for any portion of a building having a height of 35 feet or less. Fifteen feet for any portion of a building having a height above 35 feet but below 50 feet. For each ten feet or fraction thereof exceeding 50 feet in height, the rear setback shall be increased by two feet.*

P. In the BRMU zoning, district, the maximum height by right shall be 35 feet and three stories, excepting those properties that abut Emerald Coast Parkway, in which case height may be extended to a maximum of 50 feet and four stories.



Zoning Analysis: Mixed Use

RECOMMENDATIONS:





Commercial Zoning Districts

Comparative Zoning Analysis



Zoning Analysis: Commercial

INTENTS:

CG

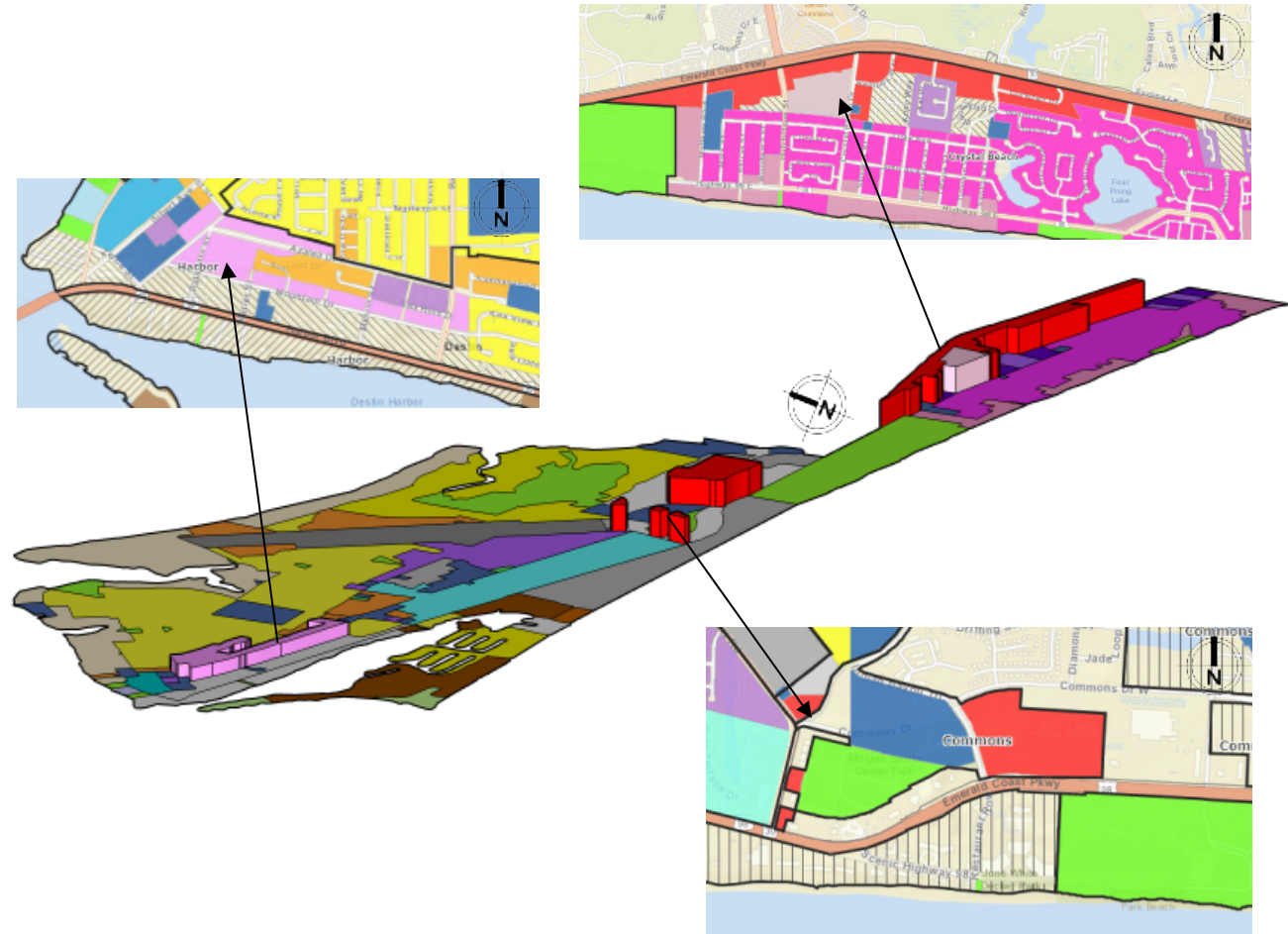
Allows to accommodate **general commercial needs** of the permanent and seasonal residents along Harbor Blvd/ Emerald Coast Pkwy

CTS

Allows similar **commercial trades and services** that are more intense in nature than those uses allowed in the CG zoning district but are less intense in nature than those uses allowed in the Industrial (IN) zoning district.

CL

It is intended to **accommodate a mixture of short-term and long-term residential and commercial uses** of a lesser intensity than is allowed in the various mixed use zoning districts.





Zoning Analysis: CL, CG, and CTS

Allowable uses

	CL	CG	CTS
Permanent or long-term residential uses			
Single-family detached dwelling	P		
Multi-family attached dwelling	P	C	
Single room occupancy housing	P		
Seasonal or short-term residential uses			
Single-family detached dwelling	P		
Multi-family attached dwelling	P	P	
Other residential uses			
Community residential home, small (1—6)	P		
Community residential home, large (7—14)	C		
Family day care home	P		

Allowable uses

	CL	CG	CTS
Construction			
Residential and non-residential contractors			P
Specialty trade contractors			P
Manufacturing			
Printing and related support activities	P	P	P
Wholesale			P
Fish and seafood merchant wholesalers	P		P
Retail trade			
Auto parts, accessories, and tire stores		C	P
Parts and Accessories Dealer—Automotive/marine		C	P
Furniture and home furnishings stores	P	P	
Electronics and appliance stores	P	P	



Zoning Analysis: CL, CG, and CTS

Allowable uses

	CL	CG	CTS
Retail trade			
Furniture and home furnishings stores	P	P	
Electronics and appliance stores	P	P	
Kitchen cabinet stores		C	P
Food and beverage stores			
Grocery stores	P	C	
Specialty food stores	P	C	
Beer, wine, and liquor stores	P	C	
Health and personal care, medical marijuana	P	C	
Clothing stores	P	P	
Sporting goods and musical instrument stores	P	P	
Book, periodical and music stores	P	P	

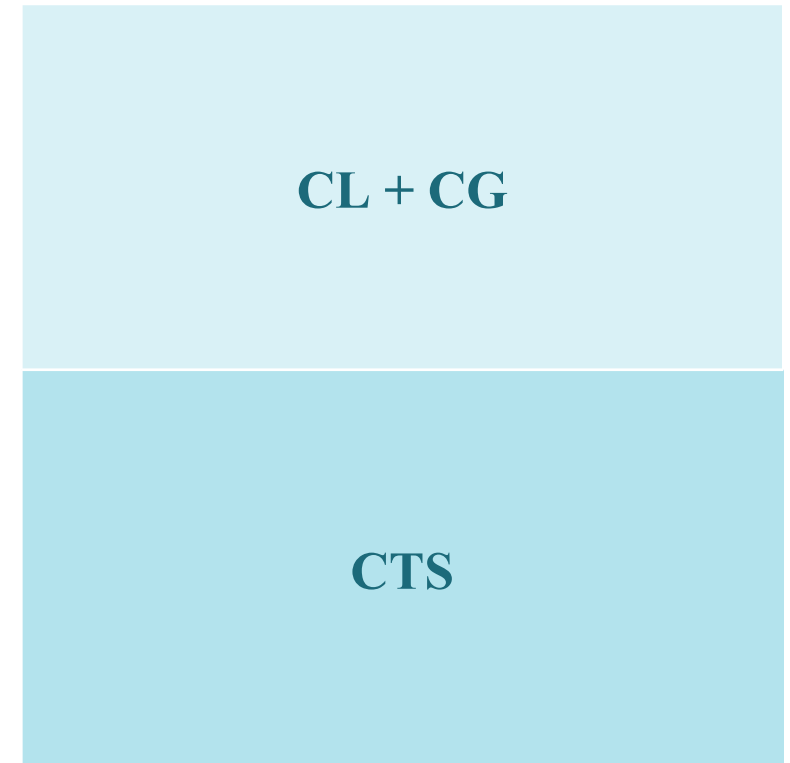
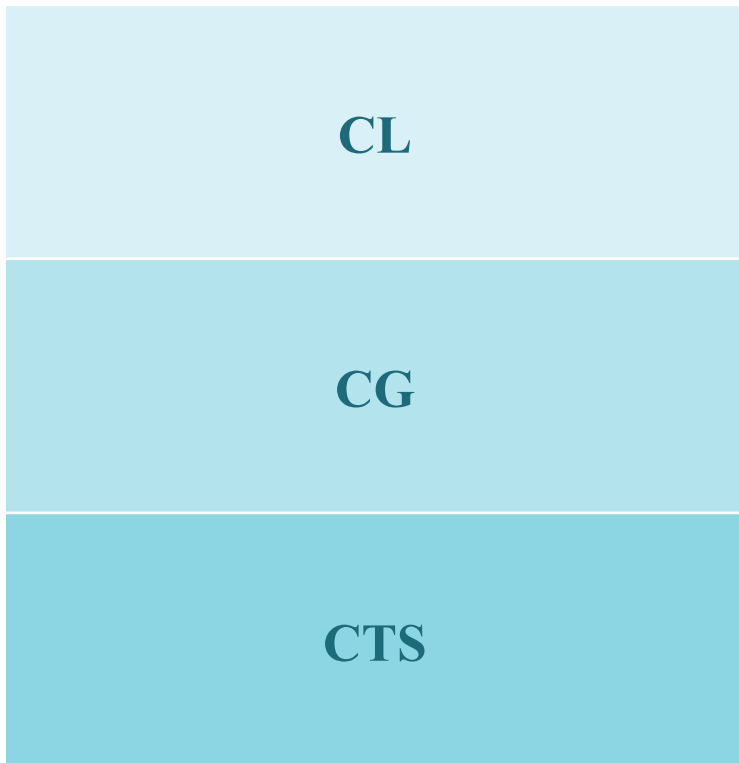
Allowable uses

	CL	CG	CTS
General merchandise stores			
Department stores	P	C	
Other general merchandise stores	P	P	
Miscellaneous store retailers			
Florist	P	P	
Office supplies, stationary, gift shop	P	C	
Transportation and warehousing			
Urban transit systems	P	C	P
Interurban and rural bus transportation	P	C	P
Information		P	P
Art, Entertainment, and Recreation	P	C	
Accommodation and Food Services	P	C	



Zoning Analysis: Recommendations

RECOMMENDED COMMERCIAL ZONING DISTRICTS:



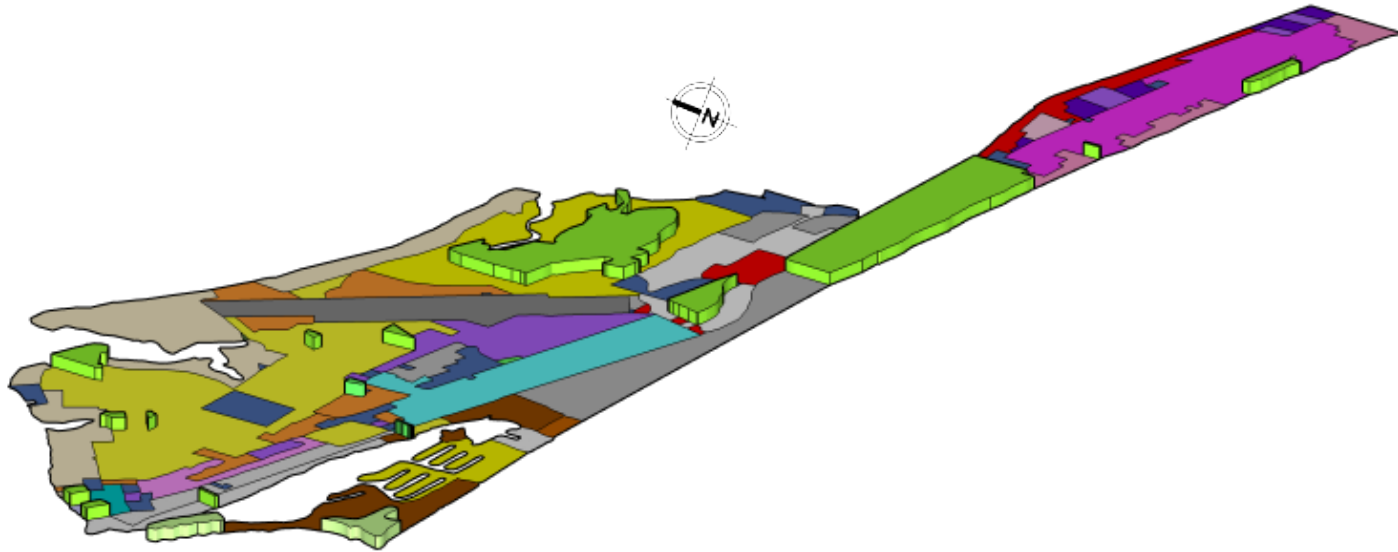


Other Zoning Districts

Comparative Zoning Analysis



Zoning Analysis: REC and CON



REC

Allows **publicly and privately owned** property and facilities, to promote natural resource enhancement and open spaces around buildings.

CON

Allows **publicly owned** property designated as natural and coastal resources to provide for long-term protection and preservation of environmentally sensitive natural resource systems.



Parks:

- ☞ Clement Taylor Park
- ☞ Captain Leonard Destin Park
- ☞ Captain Royal Melvin Park
- ☞ Dalton Threadgill Park
- ☞ Mattie M Kelly Park
- ☞ Dewey Destin Park
- ☞ Henderson Beach State Park
- ☞ Harborview Park
- ☞ Indian Bayou Golf Club
- ☞ Morgan Sports Center Park
- ☞ June White Decker Park
- ☞ James Lee Park

Conservation Areas:

- ☞ TIFFF parcel south-west of Destin Pointe

Neighborhood Parks:

- ☞ Norriego Point
- ☞ 605 Main St
- ☞ 810 Kell-Aire Ct
- ☞ 880 Kell-Aire Dr
- ☞ 1999 Cordgrass Ct
- ☞ 1950 Scenic Hwy 98
- ☞ 2966 Scenic Hwy 98



Zoning Analysis: REC and CON

INTENTS:

REC

Allows **publicly and privately owned** property and facilities, to promote natural resource enhancement and open spaces around buildings.

CON

Allows **publicly owned** property designated as natural and coastal resources to provide for long-term protection and preservation of environmentally sensitive natural resource systems.





Zoning Analysis: Other Zoning Districts

INTENTS:



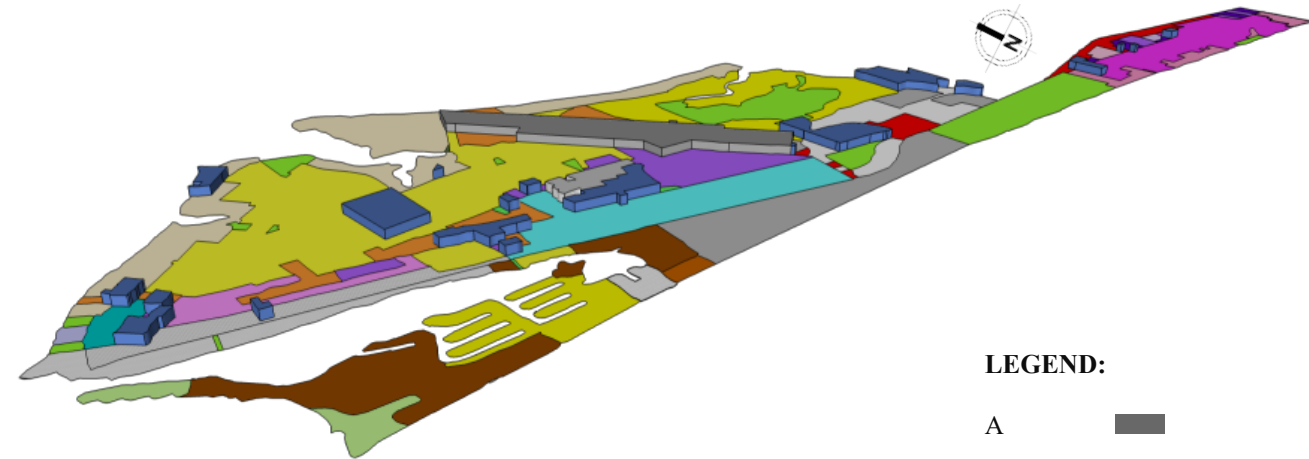
Intends to accommodate industrial and limited commercial developments. Does not allow permanent or seasonal residential uses.



Intends to accommodate public and semi-public facilities and services, promote natural resources and open space around building. Does not allow permanent or seasonal residential uses.



Comprises Destin-Fort Walton Beach Airport. It intends to accommodate airport facilities. Does not allow permanent or seasonal residential uses.



LEGEND:

A	
INST	
IN	

Consolidating the Zoning Districts

Comparative Zoning Analysis





Zoning Analysis

RECOMMENDED ZONING DISTRICTS:

RECREATION	BE	CG + CL	TCMU
CONSERVATION	LDR-V + LDR-H	CTS	CMU + CMU-V
INST	LDR-HI	ROI-TD + CBR	GRMU
IN	MDR-V	ROI-VR	HIMU + BRMU
A	CBN	ROI-CBR	NHMU
	MDR -HI + HDR		SHMU

Aligning with the Planning Areas

Comparative Zoning Analysis





Zoning Analysis: Planning Areas





Village Planning Area

Comparative Zoning Analysis



Zoning Analysis: Village Planning Area

Village Planning Area Intent:

“Provide low-density, healthy, safe, family-friendly environment that promotes a high quality of life. Connected network of multi-modal streets. Dwelling density maximums. Encourage limited commercial uses that support the neighborhoods within the Village. Maintain, improve, and protect existing neighborhoods.”



Recommended Consolidated Zoning Districts:

BE

*LDR-V +
LDR-H*

MDR-V

REC

ROI-VR

INST



Holiday Isle Planning Area

Comparative Zoning Analysis



Zoning Analysis: Holiday Isle Planning Area

Holiday Isle Planning Area Intent:

“Support and maintain a mix of residential accommodations for residents and visitors, with low density to high density residential and mixed uses. Safe and accessible Multi-modal transportation system. Protect, preserve, expand existing natural and recreational resources ”



Recommended Consolidated Zoning Districts:





Gulf Resort Planning Area

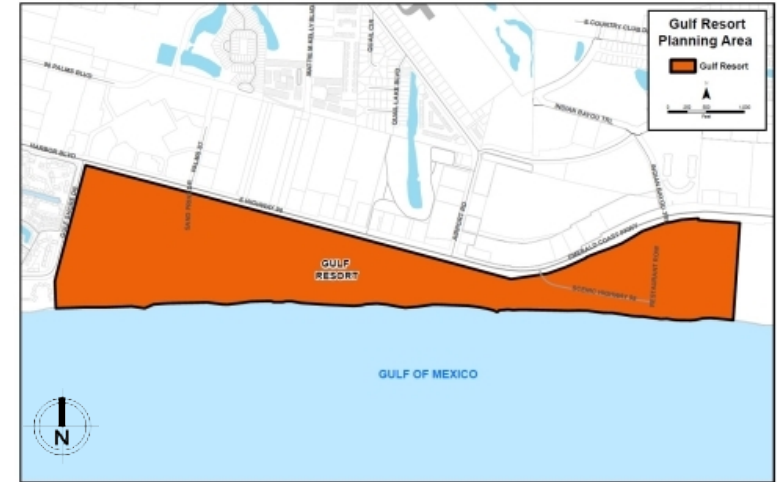
Comparative Zoning Analysis



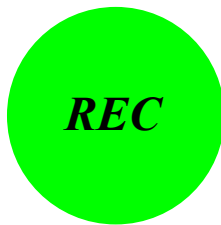
Zoning Analysis: Gulf Resort Planning Area

Gulf Resort Planning Area Intent:

“Intends to be world-class resort district with uses ranging from small condominium complexes to resorts and supporting dining, commercial and retail services. Connected multi-modal network. Renowned Residential and Resort destination. Increase public beach and access.”



Recommended Consolidated Zoning Districts:





Crystal Beach Planning Area

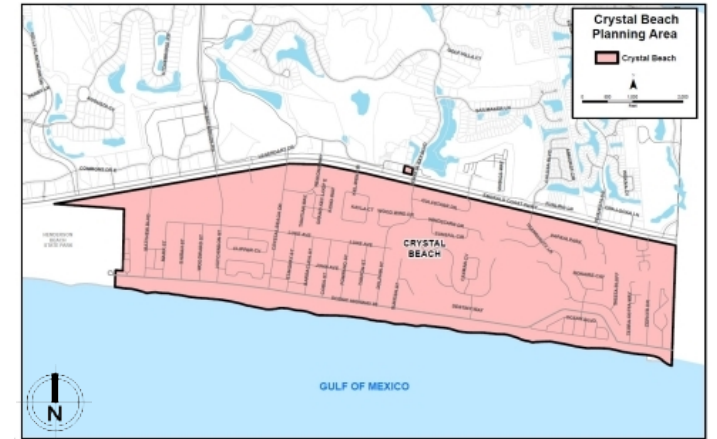
Comparative Zoning Analysis



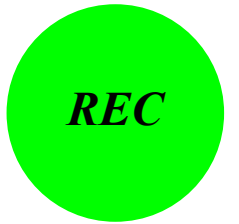
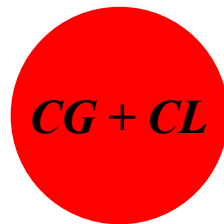
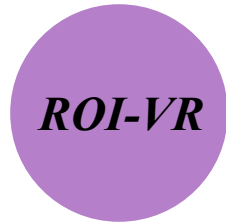
Zoning Analysis: Crystal Beach Planning Area

Crystal Beach Planning Area Intent:

“Intends to highlight quality commercial corridor , family-friendly vacation destination and single-family neighborhoods. Preserve and promote single-family character while providing the residents and visitors access to amenities. Ensure low intensity mixed use development support at intersections while commercial development adjacent to or accessible from highway 98. Protect long-term single family residential. Expand public beach access by encouraging low-intensity commercial, mixed-use developments, redevelopments of single or multi-family south of Scenic highway 98. Multimodal infrastructure. ”



Recommended Consolidated Zoning Districts:





Harbor Planning Area

Comparative Zoning Analysis



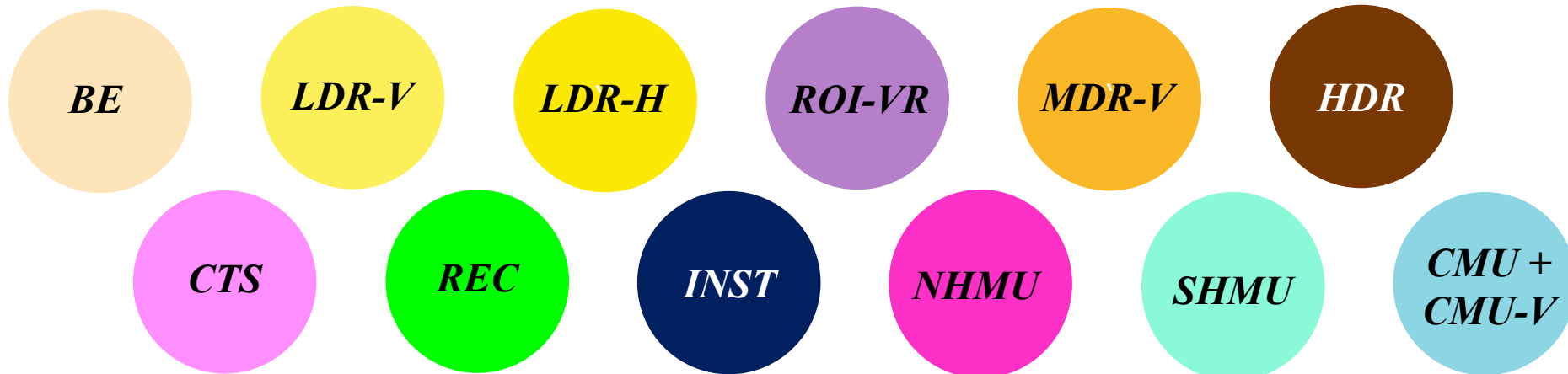
Zoning Analysis: Harbor Planning Area

Harbor Planning Area Intent:

“Intends to support a marketplace implying to “World’s luckiest fishing village”. Appropriate commercial, mixed-use, residential uses supporting fishing and recreation industries, attract visitors. Plan public pedestrian shoreline and harbor boardwalk to promote and develop free flowing festive feel. Grow connected and safe multi-modal transportation network. Innovative transportation options and creative urban design.”



Recommended Consolidated Zoning Districts:





Town Center Commons Planning Area

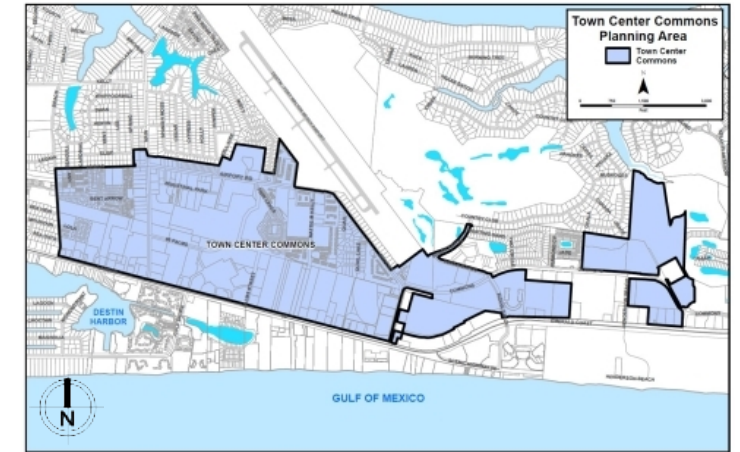
Comparative Zoning Analysis



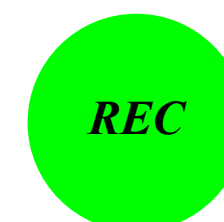
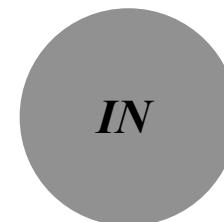
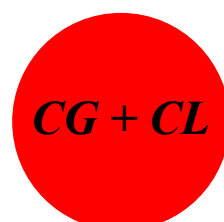
Zoning Analysis: Town Center Commons Planning Area

Town Center Commons Planning Area Intent:

“Intends to be the city’s residential, cultural, institutional, and service center. Center of business, relaxation and recreation. Afford residents and visitors ability to attend cultural events and activities showcasing the local arts, culture, and community value. Higher density residential, mixed-use development gathering places for residents and visitors. Pedestrian friendly and accessible multimodal corridors. City shall collaborate with Okaloosa County to align future development in areas directly adjacent to city’s jurisdiction ”



Recommended Consolidated Zoning Districts:





Henderson Planning Area

Comparative Zoning Analysis



Zoning Analysis: Henderson Planning Area

Henderson Planning Area Intent:

“Intends to preserve and highlight natural ecosystem. To protect the largest public beach access. Mitigate external impacts on park. To protect flora and fauna. ”

Recommended Consolidated Zoning Districts:



REC



Airport Planning Area

Comparative Zoning Analysis



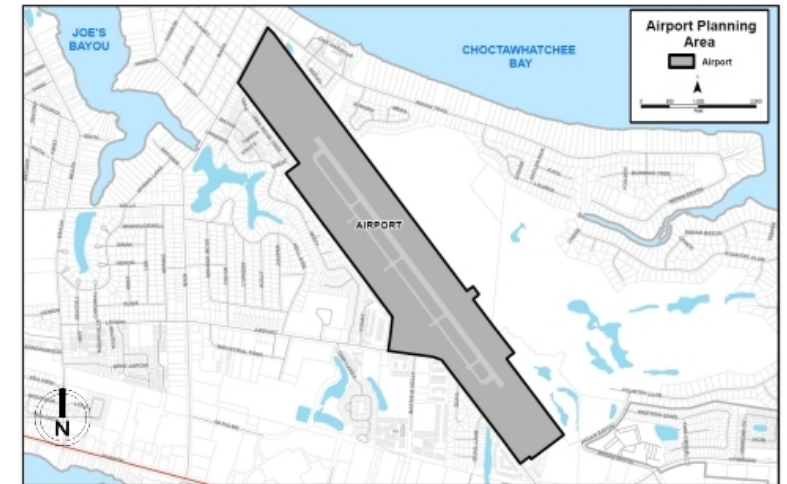
Zoning Analysis: Airport Planning Area

Airport Planning Area Intent:

“Intends to provide and facilitate the continued use of general aviation at the Destin Executive Airport at current and projected use levels while planning for the future airport growth with the existing boundaries. Mitigate encroachment issues from development upon the airport and aviation uses upon surrounding neighborhood and other areas”

Recommended Consolidated Zoning Districts:

A





Currently there are similar zoning districts per uses and dimensional requirements constituting to total of 28 Zoning Districts



The zoning districts are consolidated to 22 Zoning districts based on their similarities in the uses and dimensional requirements



Aligned the Consolidated Zoning Districts with the Planning Areas Intents

Conclusion





Zoning Analysis: CL, CG, and CTS

Allowable uses within the zoning districts

	CL	CG	CTS
Permanent or long-term residential uses			
Single-family detached dwelling	P		
Multi-family attached dwelling	P	C	
Custodian or night-watchman dwelling			P
Single room occupancy housing	P		
Seasonal or short-term residential uses			
Single-family detached dwelling	P		
Multi-family attached dwelling	P	P	
Other residential uses			
Community residential home, small (1—6)	P		
Community residential home, large (7—14)	C		
Family day care home	P		

Allowable uses within the zoning districts (cont'd)

	CL	CG	CTS
236 Residential and non-residential contractors			P
237 Heavy and civil engineering contractors			
238 Specialty trade contractors			P
Sector 42 Wholesale Trade		C	P
424460 Fish and seafood merchant wholesalers			P
4413 Auto parts, accessories, and tire stores		C	P
441310 Parts and Accessories Dealer— Automotive/marine		C	P
442 Furniture and home furnishings stores	P	P	
443 Electronics and appliance stores	P	P	
444 Building material and garden equip. and supply dealer		C	P
444190 Kitchen cabinet stores		C	P
4451 Grocery stores	P	C	



Zoning Analysis: CL, CG, and CTS

*Allowable uses within the zoning districts
(cont'd)*

	CL	CG	CTS
4452 Specialty food stores	P	C	
4453 Beer, wine, and liquor stores	P	C	
446 Health and personal care stores and medical marijuana treatment center dispensing facilities 20	P	C	
447 Gasoline stations		C	
448 Clothing and clothing accessories stores	P	P	
4511 Sporting goods and musical instrument stores	P	P	
4512 Book, periodical, and music stores	P	P	
4521 Department stores	P	C	
4529 Other general merchandise stores	P	P	
4531 Florists	P	P	
4532 Office supplies, stationery, and gift stores	P	C	
4533 Used merchandise stores		C	

*Allowable uses within the zoning districts
(cont'd)*

	CL	CG	CTS
453310 Thrift stores		C	
4539 Other miscellaneous store retailers		C	
454 Non-store retailers			P
4851 Urban transit systems	P	C	P
4582 Interurban and rural bus transportation	P	C	P
4853 Taxi and limousine service			P
4854 School and employee bus transportation			P
4859 Other ground passenger transportation			P
48841 Motor vehicle towing		C	P
492 Couriers and messengers			P
493 Warehousing and storage		C	
4931 General warehousing and storage (9)		C	P
518 ISPs, search portals, and data processing		P	P



Zoning Analysis: CL, CG, and CTS

Allowable uses within the zoning districts (cont'd)

	CL	CG	CTS
519 Other information services		P	P
522298 Pawn shops		C	
531120 Conference/convention center		C	
531120 Commercial special event venue		P	
531130 Mini-warehouse and self-storage leasing		C	P
531190 Boat, vehicle, equipment, etc., storage leasing		C	P
532 Rental and leasing services			
5321 Automotive equipment rental and leasing		C	P
5322 Consumer goods rental	P	C	P
5323 General rental centers		P	P
5324 Machinery and equipment rental and leasing		C	P
541 Professional and technical services	P	P	
541940 Veterinary services		C	

Allowable uses within the zoning districts (cont'd)

	CL	CG	CTS
561730 Landscaping services		C	P
6115 Technical and trade schools			P
6116 Other schools and instruction		P	
6117 Educational support services		P	
621 Ambulatory health care services	P	C	P
6244 Child day care services	C	P	
711 Performing arts and spectator sports	P	C	
712 Museums, historical sites, zoos, and parks (10)	P		
713110 Amusement and theme parks		C	
541940 Veterinary services		C	
713120 Amusement arcades		C	
713940 Fitness and recreational sports centers		C	
713950 Bowling centers		C	



Zoning Analysis: CL, CG, and CTS

*Allowable uses within the zoning districts
(cont'd)*

	CL	CG	CTS
713990 Indoor Shooting Ranges			P
713990 All other amusement and recreation industries		C	
721110 Hotels and motels	P	C	
721191 Bed-and-breakfast inns	P	C	
721199 Other traveler accommodation, C.T.L.A. (12)	P	C	
7212 RV parks and recreational camps		C	
7213 Rooming and boarding houses	P	C	
722 Food services and drinking places	P	C	
722110 Full-service restaurants	P	C	
722111 Limited-service restaurants	P	C	
7224 Drinking places, alcoholic beverages	P	C	
811 Repair and maintenance		C	P
8111 Automotive repair and maintenance		C	P

*Allowable uses within the zoning districts
(cont'd)*

	CL	CG	CTS
811192 Car washes		C	P
81149 Other personal and household goods repair		P	P
811491 Boat and motorcycle repair		C	P
8122 Death care services			P
8123 Dry cleaning and laundry services	P	C	P
81233 Linen and uniform supply services		P	P
812910 Pet care (except veterinary) services		C	
813 Membership associations and organizations	P	P	
Tattoo parlors		C	