



**AGENDA
LOCAL PLANNING AGENCY
THURSDAY, JULY 7, 2022
5:30 PM
ANNEX COUNCIL CHAMBERS**

- 1. CALL TO ORDER**
- 2. ROLL CALL/PLEDGE OF ALLEGIANCE**
- 3. APPROVAL OF MINUTES**
 - A. June 23, 2022**
- 4. NEW BUSINESS**
 - A. Conditional Use 22-25-CU 1015 US Highway 98 East**
- 5. PUBLIC COMMENTS** (Comments from the public on any matters considered at the meeting, or on any matters not on the agenda)
- 6. NEXT MEETING DATE: July 28, 2022**

Any person requiring a special accommodation at this hearing because of a disability or physical impairment should contact the City Clerk at (850) 837-4242 at least 48 hours prior to the hearing. If a person decides to appeal any decision made with respect to any matter considered at such meeting, such person will need a record of the proceeding and for such purpose may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based. (Sec. 286.0105, Florida Statutes)

**LOCAL PLANNING AGENCY
MEETING MINUTES
JUNE 23, 2022 - 5:30 P.M.
DESTIN CITY HALL BOARDROOM**

1. CALL TO ORDER:

Chairman Wood called the Local Planning Agency Meeting to order on Thursday, June 23, 2022, at 5:30 p.m., in the Destin City Hall Boardroom; with the Pledge of Allegiance immediately following.

2. ROLL CALL:

Members Present

James T. Wood, Jr.
Karen Hudson
Marcie Bell
Todd Buhr
Corey Ledbetter

Members Absent

Jason Klosterman

Staff Members Present

Kim Montgomery City Clerk
Steven O'Connor Principal Planner

3. APPROVAL OF MINUTES:

May 26, 2022

Motion by Agency member Ledbetter, seconded by Agency member Bell to approve the May 26, 2022, minutes as written. The motion passed 5-0.

4. NEW BUSINESS:

A. Comprehensive Plan Chapter 3: Housing Element & Chapter 4 Public Facilities Element Discussion

According to Mr. O'Connor, staff is seeking a formal recommendation to City Council from their recommendations for Comprehensive Plan Chapter 3: Housing Element & Chapter 4 Public Facilities Element Recommendation that they made at their previous meeting on June 23, 2022.

The Chairman opened the hearing to the public for comment. With no one being present, he closed the public portion and turned the item over for discussion by the members.

Agency member Buhr made the motion that the Local Planning Agency recommends City Council's approval of the suggestions for the policies for Chapter 3 & 4

of the City's adopted Comprehensive Plan. Agency member Hudson provided the second. The motion passed 5-0.

5. **OLD BUSINESS: None**

6. **DIRECTOR'S REPORT: None**

ADJOURNMENT:

Having no further discussion at this time, the meeting adjourned at 5:36 p.m.

Adopted and approved this _____ day of _____ 2022.

James Wood, Jr. Chairman

Kim Montgomery, Destin City Clerk

CITY OF DESTIN – COMMUNITY DEVELOPMENT



AGENDA ITEM

MEETING DATE: July 7, 2022
BOARD/COMMITTEE: Local Planning Agency
TYPE OF AGENDA ITEM: Action Item
OUTLINE NUMBER: 4.A.

TO: Local Planning Agency

THRU: Lance Johnson, City Manager
Louis Zunguze, Community Development Director
Kimberly Kopp, Land Use Attorney

FROM: Steve O'Connor, Principal Planner

DATE: June 28, 2022

SUBJECT: Conditional Use 22-25-CU 1015 US Highway 98 East

I. BACKGROUND:

Bowman Consulting, on behalf of Arris Destin Retail, LLC, is requesting approval of **Conditional Use 22-25-CU**. This project includes the location of a parking lot to serve the employees of the approved Chick-Fil-A restaurant to be located next door. The subject project is located on a portion of the commercial outparcel at 1015 US Highway 98 East (Parcel ID: 00-2S-22-0000-0013-019A).

II. DISCUSSION:

The proposed use is located within the **Town Center Mixed Use (TCMU)** zoning district. The proposed use of parking lots and garages (public and private) is a conditional use in the **Town Center Mixed Use (TCMU)** zoning district. The following includes a review and analysis of the proposed use based on the **Future Land Use element of the Comprehensive Plan and criteria for conditional uses outlined in the Land Development Code.**

A. COMPREHENSIVE PLAN POLICY ELEMENTS:

As directed by the City's **Comprehensive Plan (Policy 1-2.4.3)**, the **Mixed Use "MU"** designation provides an intense mix of residential and nonresidential uses within the Town Center, Calhoun, North and South Harbor, Gulf Resort, Bay Resort, and a small area within the Holiday Isle Planning Areas. The intent of the **"MU"** designation is to promote innovative arrangements of development types in strategically located areas of the City that have or are planned to **accommodate a mixture of residential and commercial activities**

in close proximity to each other, achieve compact development, and reduce total trips on the roadway system. The proposed use of a parking lot would be utilized by employees of the already approved Chick-Fil-A restaurant, to be located next door at 1021 Highway 98 East. The proposed project is consistent with **Comprehensive Plan Policy 1-2.4.3**.

B. LAND DEVELOPMENT CODE/ZONING ELEMENTS:

The following includes a review and analysis of the proposed conditional use based on the criteria outlined in **Section 7.12.10** of the Land Development Code:

C. CONDITIONAL USE ELEMENTS:

The proposed use of a parking lot within the TCMU zoning district, as per *Land Development Code (LDC) Section 7.12.06 Table 7-2*, is a conditional use. In accordance with *LDC Section 7.12.10*, the applicant provided a conditional use request based upon the following:

1. Characteristic of Use
2. On and Offsite Improvement Needs
3. On-site Amenities
4. Criteria for Conditional Use

Criteria for Conditional Use, per *Section 7.12.10.C, Land Development Code*:

1. LAND USE COMPATIBILITY

Staff Comments: The proposed use is a Conditional Use within *Table 7-2, Article 7, Land Development Code (LDC)*.

Adjacent Land Uses: Parking lots (public or private) are listed as a Conditional Use in the **Town Center Mixed Use (TCMU)** zoning district. The project is proposed on a 0.32-acre parcel. The intent of the "MU" designation is to promote innovative arrangements of development types in strategically located areas of the City that have or are planned to accommodate a mixture of residential and commercial activities in close proximity to each other, achieve compact development, and reduce total trips on the roadway system. The adjacent land uses are commercial to the west and east, multi-family residential to the north, and commercial to the south (across Highway 98). Therefore, the proposed use is consistent with the intent of the "MU" Future Land Use Designation.

Offsite Impacts: There are no negative anticipated off-site impacts. The proposed parking lot is intended to be utilized by the employees of the development to the west; therefore, more parking spaces will be available on-site for the patrons, further reducing congestion on Highway 98. As proposed, the conditional use meets the intent of TCMU zoning district.

2. SUFFICIENT SIZE, SITE SPECIFICATIONS, AND INFRASTRUCTURE

Staff Comments: Prior to development approval, the proposed project shall be compliant with the dimensional requirements listed in *Article 7.12.08*, as well as *Table 7-3, Land Development Code*.

Size: The applicant is proposing to construct a parking lot on a 0.32-acre parcel currently located at 1015 Highway 98 East. The development shall install any required landscaping buffers to accommodate all required facilities and design requirements related to the proposed use.

Access and Internal Circulation: Access is provided from Mattie M. Kelly Boulevard South Public Right-of-Way (ROW), and the project shall comply with all access requirements.

Urban Design Enhancement: The necessary screening, buffers, landscaping, setbacks, and open space area shall be implemented as required by *Article 8.06.00, Vehicle and Parking Standards, Land Development Code*. This is in addition to the enhanced traffic circulation and traffic stacking design that has been approved for the restaurant site to further alleviate the traffic back up on Highway 98.

3. PROPER USE OF MITIGATIVE TECHNIQUES

Staff Comments: The proposed use shall incorporate mitigative techniques as required by the LDC, including but not limited to required screening, landscaping, and stormwater management. Prior to approval by the Technical Review Committee (TRC), the project shall meet the stormwater requirements per *LDC Section 10.03.02, Stormwater Management*.

4. HAZARDOUS WASTE

Staff Comments: No hazardous waste is anticipated as a result of this proposed use.

5. OVER PROLIFERATION OF USE

Staff Comments: Parking lots/garages (public or private) are a conditional use in the TCMU zoning district. The establishment this parking lot proposes to support is known for having a high demand of patrons, frequently causing traffic congestion on Highway 98. As stated previously, this use would allow for more available parking on site for patrons; therefore, reducing the potential for traffic backup. The proposal of a parking lot is compatible with the surrounding uses without an over proliferation.

6. COMPLIANCE WITH APPLICABLE LAWS AND ORDINANCES

Staff Comments: As proposed, the project meets the intent of both the Comprehensive Plan and the zoning district. Prior to approval of development, the project shall comply with the land development standards and regulations outlined in the Comprehensive Plan and Land Development Code.

7. PUBLIC COMMENT

None received to date

A. Link to Strategic Goals / Objectives: 1) Enhanced Quality of Life & Safety for Families

B. Effect on Budget (EOB):

There is no anticipated impact on the budget.

C. **Level of Service (LOS)**: There is no anticipated effect on LOS.

D. **Legislative Sponsor**:

III. CONCLUSION:

The Applicant is requesting a Conditional Use (22-25-CU) approval for the location of a parking lot. The proposed use is a Conditional Use in TCMU, ***Section 7.12.00, LDC***.

The project is consistent with the following:

1. Comprehensive Plan ***Policy 1-2: Future Land Use Element***.
2. Comprehensive Plan ***Policy 12-4.1.8: Multi-Modal Transportation District***.
3. Land Development standards as outlined in ***Article 7, Land Development Code***.

Based upon these findings, Staff recommends approval of Conditional Use 22-25-CU.

IV. RECOMMENDED MOTION:

I move that the Local Planning Agency recommend the City Council approve Conditional Use 22-25-CU.

Attachments:

1. CFA 4796 Destin - Offsite Parking Lot_v1
2. CFA Destin - Narrative Letter_v1

SITE DEVELOPMENT PLANS FOR DESTIN CHICK-FIL-A STORE #4796

LEGAL DESCRIPTION

PARCEL 1

A parcel of land lying in Township 2 South, Range 22 West, lying North of U.S. Highway 98 (formerly State Highway 115), lying in Okaloosa County, Florida, described as follows:

Commence at a mag nail with no identification on the South line of Lot 2 of "The Shores" a subdivision recorded in Plat Book 23, Page 50, of the Public Records of Okaloosa County Florida; thence go South 75°09'28" East along the Northerly right-of-way line of U.S. Highway 98 (100' R/W), 417.18 feet; thence go North 14°50'35" East along said right of way line, 10.00 feet; thence go South 75°09'28" East along said Northerly right of way line (110' R/W) 132.76 feet being the Southeast corner of Lot 4 of " ThðShores" subdivision; thence go North 03°58'59" West along said right of way line, 15.85 feet; thence go South 75°09'28" East along said Northerly right of way line (125' R/W) 3158.65 feet; thence go North 14°51'44" East 25.00 feet to a point said point being the Point of Beginning; thence go North 75°09'28" West along the North right of line of U.S. Highway 98 (150' R/W) 200.00 feet to a point; thence leaving said right of way go North 14°48'34" East 300.00 feet to a point; thence go North 75°02'58" West 200.00 feet to a point; thence go South 14°51'44" West 300.00 feet to the Point of Beginning.

Containing 1.376 acres +/-.

Said tract being one and the same as that certain tract of land conveyed to JPD Investments, Inc. by virtue of that certain Warranty Deed from Northwest Florida Properties, Inc. dated June 28, 1996, recorded July 1, 1996 in Official Records Book 2007, Page 2396, of the Public Records of Okaloosa County, Florida.

ALONG WITH

PARCEL 2

The North 84.71 feet of the East 164.55 feet of Parcel " B" as recorded in Official Records Book 3428, Page 4226 of the Public Records of Okaloosa County, Florida, being more particularly described as follows:

BEGIN at the Northeast corner of the aforementioned Parcel " B" and run thence South 14°50'13" West, along the east line of said Parcel " B" , for 84.71 feet; thence North 75°09'37" West, along a line 84.71 feet south of and parallel to the north line of Parcel " B" , for 164.55 feet to a point lying 80.00 feet east of and parallel to the west line of said Parcel " B"; thence along said parallel line North 14°50'13" East, for 84.71 feet to a point on the north line of said Parcel " B" ; thence South 75°09'37" East, along the north line of said Parcel " B" , for 164.55 feet to the POINT OF BEGINNING.

Containing 0.32 acres, more or less.

FLOOD ZONE NOTE

- THE LANDS BOUND BY THIS SURVEY ARE LOCATED WITHIN AN AREA HAVING FLOOD ZONE DESIGNATION X (AREA OF MINIMAL FLOOD HAZARD) BY THE FEDERAL MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP NUMBER 12091CD488H, MAP REVISED DECEMBER 6, 2002.

DATUM NOTE

- THE ELEVATIONS SHOWN HEREON ARE REFERNECED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND ARE BASED UPON THE FOLLOWING FLORIDA DEPARTMENT OF NATURAL RESOURCES BENCHMARK: "OKA2", BRASS DISK IN CONCRETE STORM DRAIN;
- ELEVATION = 23.02' (NAVD88)

GENERAL NOTES

- CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE APPROVED PLANS AND THE APPROPRIATE STANDARDS AND SPECIFICATIONS ALONG WITH A COPY OF ANY PERMITS AND AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.
- CONTRACTOR SHALL MEET OR EXCEED ALL SITE WORK SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS FOR ALL MATERIALS AND CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY DURING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS IS ENCOUNTERED.
- NO REVISION SHALL BE MADE TO THESE PLANS WITH OUT THE APPROVAL OF THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
- ANY REFERENCE TO PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

HWY 98
DESTIN, FL 32541
SECTION 00, TOWNSHIP 2 S, RANGE 22 W

CONTACTS

OWNER
CHICK-FIL-A
5200 BUFFINGTON ROAD
ATLANTA, GA 30349

ENGINEER
BOWMAN CONSULTING GROUP
910 SE 17TH ST SUITE 300
FT. LAUDERDALE, FL 33316
BILL PFEFFER, BRANCH MANAGER
954.314.8466
BPFEFFER@BOWMANCG.COM

SURVEYOR
O'NEAL SURVEYING & MAPPING, INC
267 JOHN KNOX ROAD, SUITE 207
TALLAHASSEE, FL 32303
850-270-2138

STORM DRAINAGE
OKALOOSA COUNTY NORTH STORM WATER DIVISION
1759 S. FERON BLVD., CRESTVIEW, FL 32536
TERRILL MATTHEWS, OPERATIONS MANAGER
850-689-5772
TMATTHEWS@MYOKALOOSA.COM

NORTHWEST FLORIDA MANAGEMENT DISTRICT
81 WATER MANAGEMENT DRIVE, HAVANA, FL 32333
DANA PALERMO
850-683-5044 EXT. 211
DANA.PALERMO@NFWF.WATER.COM

TELEPHONE/INTERNET
UNITI FIBER
3542 W. ORANGE AVE., TALLAHASSEE, FL 32310
JOHN HALLEY
251-753-8695

WATER DISTRIBUTION
DESTIN WATER USERS, INC (DWU)
218 MAIN STREET
DESTIN, FL 32541
MARK JACKSON, UTILITIES DIRECTOR
850-837-6146 EXT. 107

SANITARY SEWER
OKALOOSA COUNTY WATER & SEWER
1804 LEWIS TURNER BLVD., FT. WALTON BEACH, FL 32547
JEFF LITRELL, UTILITIES DIRECTOR
850-651-7171

TRAFFIC ENGINEERING
OKALOOSA COUNTY TRAFFIC OPERATIONS
1759 S. FERDON BLVD., CRESTVIEW BLVD, FL 32536
JASON AUTRY, MANAGER
850-689-5772
ENGINFO@MYOKALOOSA.COM

HEALTH DEPARTMENT
FLORIDA DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION (DBPR) - DIVISION OF HOTELS AND RESTAURANTS
2601 BLAIRSTONE ROAD
TALLAHASSEE, FL 32399
DBPR REPRESENTATIVE
850-487-1395
DHR.PLANREVIEW@MYFLORIDALICENSE.COM

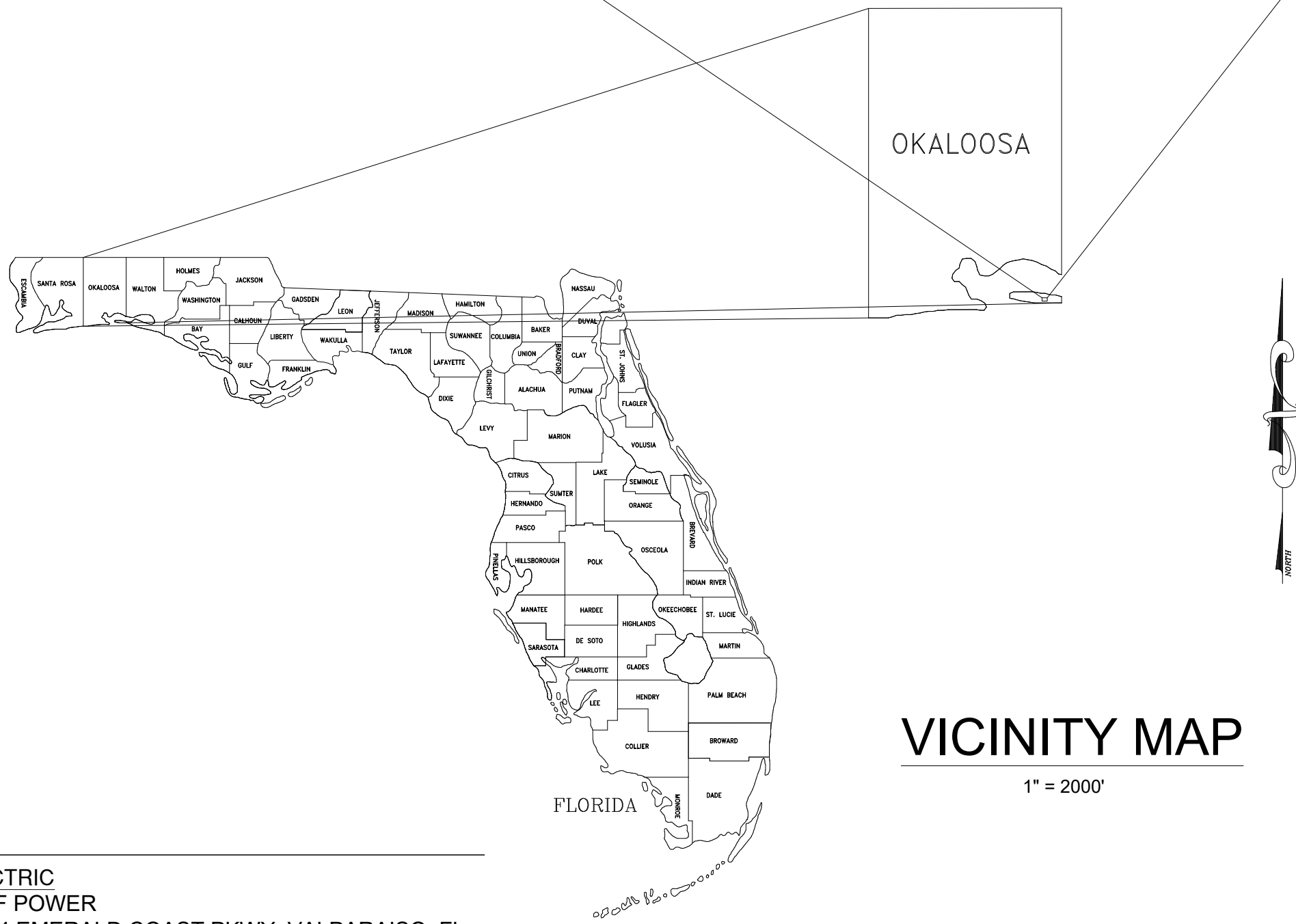
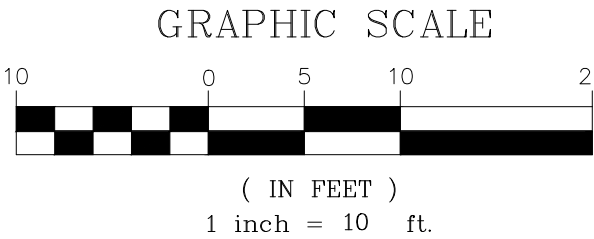
ELECTRIC
GULF POWER
34854 EMERALD COAST PKWY, VALPARAISO, FL 32580
AREA ENGINEERING
850-505-5567

GAS SERVICE
OKALOOSA GAS DISTRICT
364 VALPARAISO PKWY, VALPARAISO, FL 32580
ESSA RHEBI
850-729-4870

EROSION CONTROL
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2600 BLAIR STONE ROAD, TALLAHASSEE, FL 32399
MR. B. SEAN CLAYPOOL, DATA ENTRY OPERATOR: NPDES STORMWATER PROGRAM
866-336-6312
BYRON.CLAYPOOL@DEP.STATE.FL.US

FIRE PROTECTION
DESTIN FIRE CONTROL DISTRICT
848 AIRPORT ROAD
DESTIN, FL 32541
MATT TAYLOR, FIRE MARSHAL
850-837-8413, EXT 204
MTAYLOR@DESTINFIRE.COM

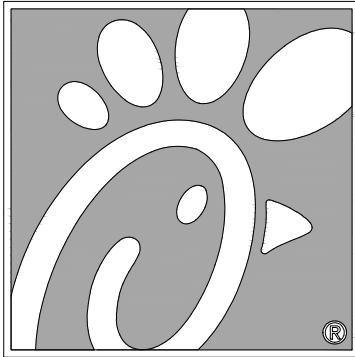
SOLID WASTE DISPOSAL
WASTE MANAGEMENT, INC
850-862-7141



VICINITY MAP

1" = 2000'

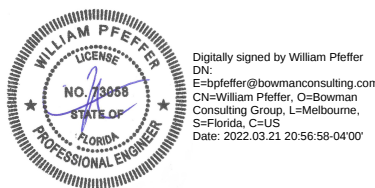
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SHEET NUMBER	SHEET TITLE
C-1.0	COVER SHEET
C-1.1	EXISTING CONDITIONS PLAN
C-1.2	DEMOLITION PLAN
C-2.0	SITE PLAN
C-3.0	GRADING AND DRAINAGE PLAN
C-5.0	SITE AND DRAINAGE DETAILS



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Atlanta Georgia,
30349-2998

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Seal



WILLIAM PFEFFER, P.E.
LICENSE NO. 73058
3/21/2022

CHICK-FIL-A
DESTIN RELOCATION
HIGHWAY 98 E
DESTIN, FL 32541

FSU# 4796

REVISION SCHEDULE
NO. DATE DESCRIPTION

FOR PERMIT

CURRENT DESIGN
NOTE APPLIED
PROJECT #
PRINTED FOR
DATE
DRAWN BY

2017-029
010014-01-126
PERMIT
3/21/2022
JL

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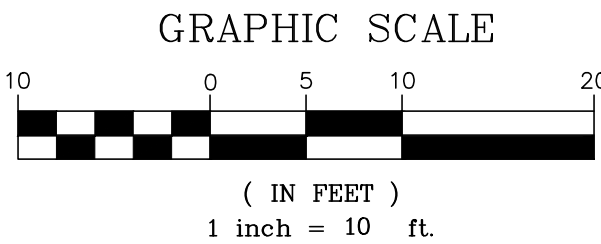
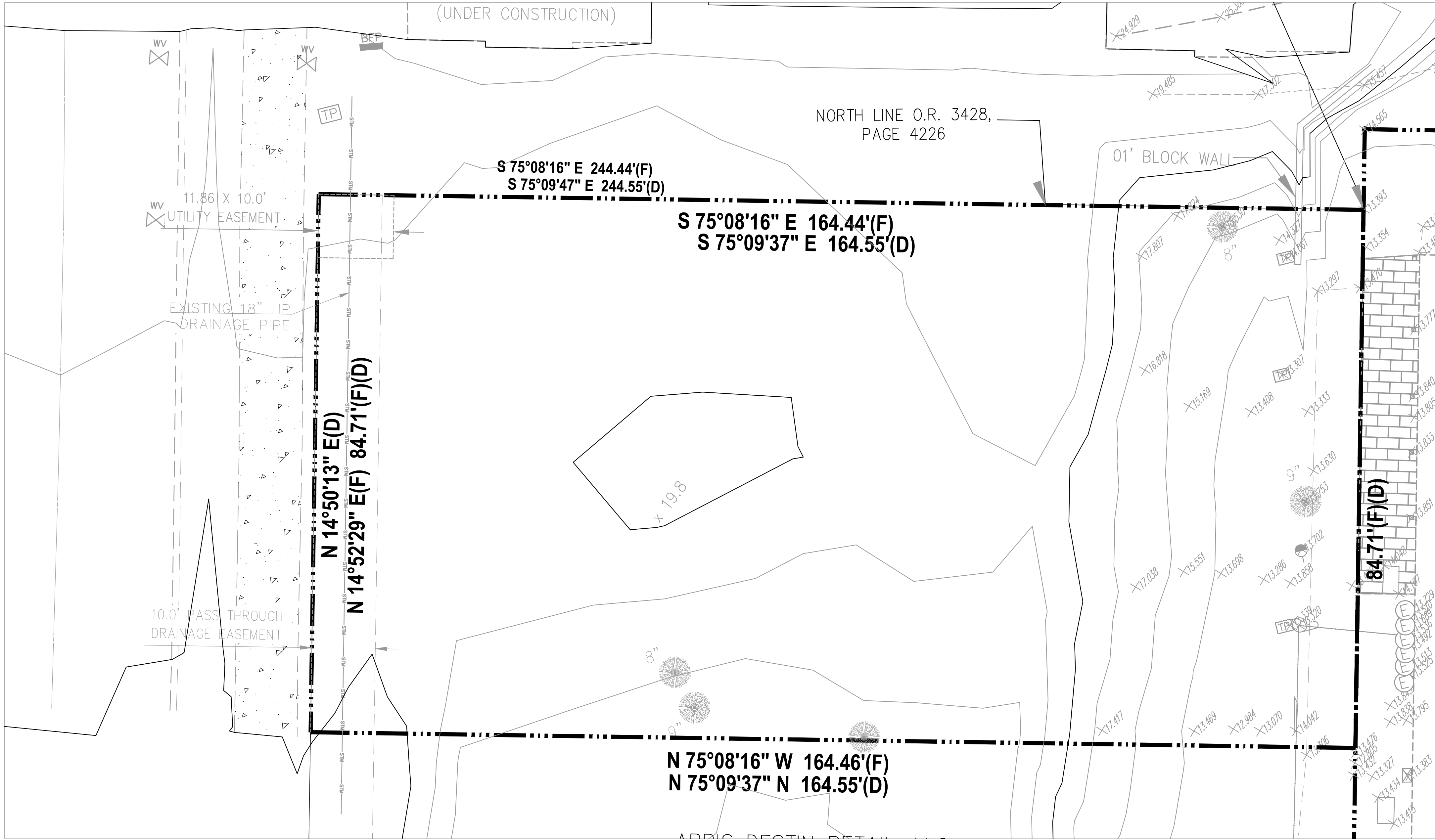
SHEET

COVER SHEET

SHEET NUMBER

C-1.0

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LEGEND	
PROPERTY LINE	
EX. CONCRETE SIDEWALK	
EX. CONCRETE D CURB	
EX. CONCRETE F CURB	
EX. POWER POLE	
EX. GUY WIRE	
EX. EDGE OF PAVEMENT	
EX. EDGE OF SIDEWALK	
EX. TELEPHONE PEDESTAL	
EX. OVERHEAD ELECTRIC	
EX. IRRIGATION CONTROL VALVE	
EX. WATER VALVE	
EX. BACKFLOW PREVENTER	

SOIL CLASSIFICATION

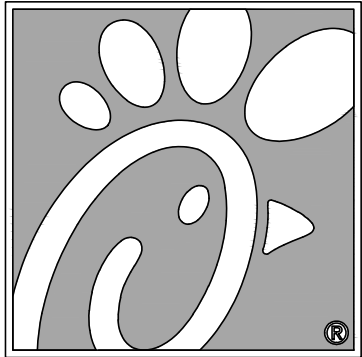
- THE SOIL SURVEY OF OKALOOSA COUNTY, FLORIDA AS PREPARED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA), SOIL CONSERVATION SERVICE (SCS), LATER RENAMED THE NATURAL RESOURCE CONSERVATION SERVICE (NRCS), DATED AUGUST 1989, IDENTIFIES THE NATIVE SOIL TYPES AT THE SUBJECT SITE AS NEWHAN-COROLLA COMPLEX, 2 TO 30 PERCENT SLOPES (18) AND URBAN LAND (27).

FLOOD ZONE NOTE

- THE LANDS BOUND BY THIS SURVEY ARE LOCATED WITHIN AN AREA HAVING FLOOD ZONE DESIGNATION X (AREA OF MINIMAL FLOOD HAZARD) BY THE FEDERAL MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP NUMBER 12091CD488H, MAP REVISED DECEMBER 6, 2002.

DATUM NOTE

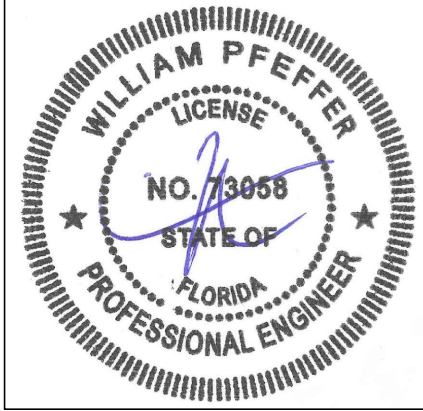
- THE ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND ARE BASED UPON THE FOLLOWING FLORIDA DEPARTMENT OF NATURAL RESOURCES BENCHMARK: "OKAZ", BRASS DISK IN CONCRETE STORM DRAIN.
- ELEVATION = 23.02' (NAVD88)



5200 Buffington Rd.
Atlanta Georgia,
30349-2998



Seal



WILLIAM PFEFFER, P.E.
LICENSE NO. 73058
3/21/2022

CHICK-FIL-A
DESTIN RELOCATION
HIGHWAY 98 E
DESTIN, FL 32541

FSU# 4796

REVISION SCHEDULE	
NO.	DATE

DESCRIPTION

FOR PERMIT

CURRENT DESIGN	2017-029
NOTE APPLIED	
PROJECT #	010014-01-126
PRINTED FOR	PERMIT
DATE	3/21/2022
DRAWN BY	JL

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SHEET

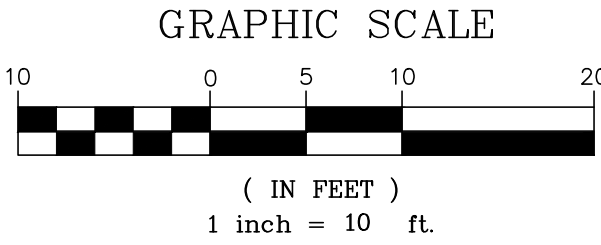
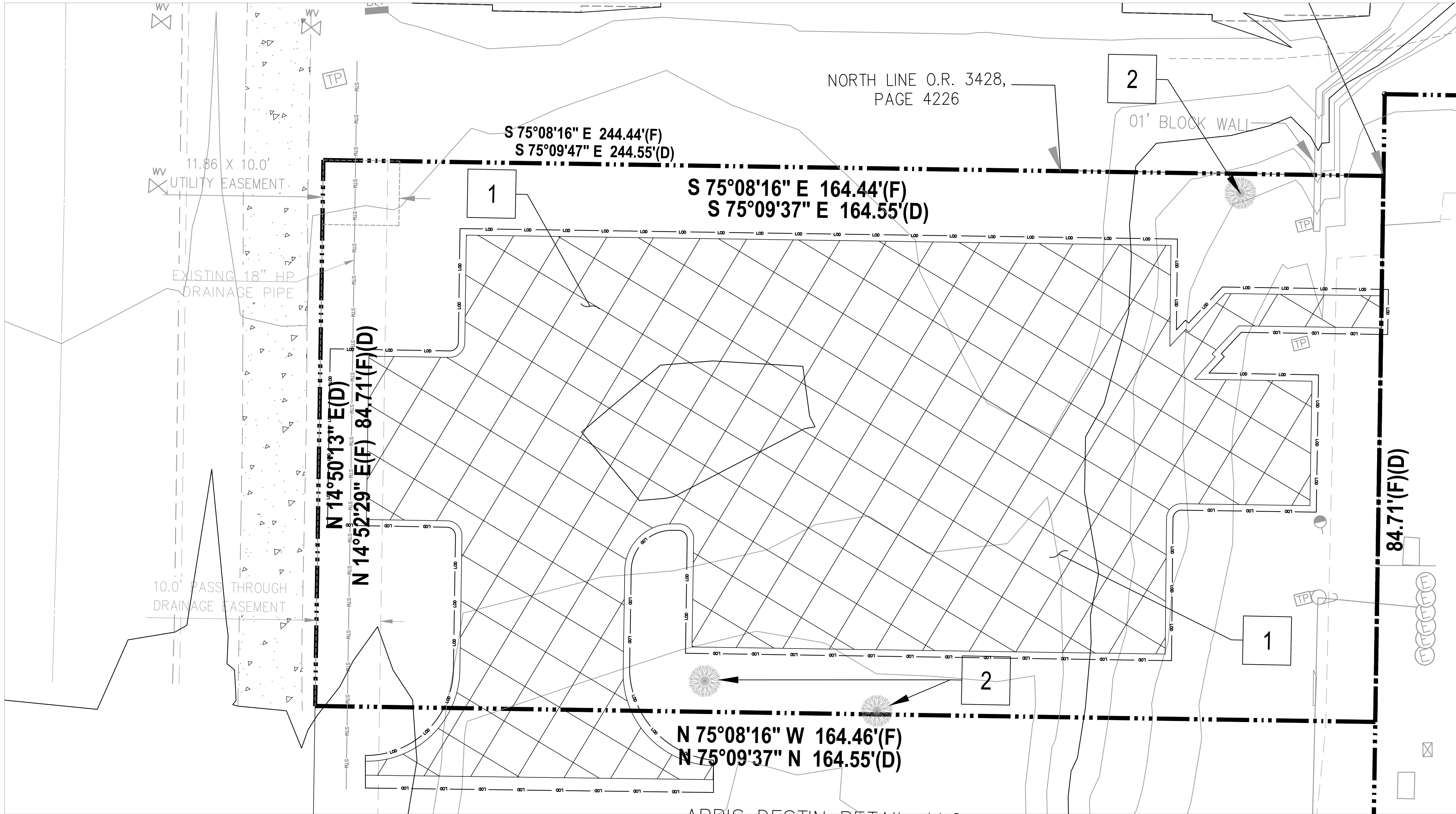
EXISTING CONDITIONS

PLAN

SHEET NUMBER

C-1.1

THIS DOCUMENT, TOGETHER WITH THE CONCEPT AND DESIGN PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHOM IT WAS PREPARED. REUSE OF ANY INFORMATION RELAYED ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ASSUMPTION BY BOWMAN CONSULTING SHALL BE WITHOUT LIABILITY TO BOWMAN CONSULTING.



LEGEND	
DEMO OPEN SPACE	
LIMIT OF DISTURBANCE	
PROPERTY LINE	
EX. CONCRETE SIDEWALK	
EX. CONCRETE D CURB	
EX. CONCRETE F CURB	
EX. POWER POLE	
EX. GUY WIRE	
EX. EDGE OF PAVEMENT	
EX. EDGE OF SIDEWALK	
EX. TELEPHONE PEDESTAL	
EX. OVERHEAD ELECTRIC	
EX. IRRIGATION CONTROL VALVE	
EX. WATER VALVE	
EX. BACKFLOW PREVENTER	

DEMOLITION NOTES

- 1 LANDSCAPED AREA TO BE REMOVED
- 2 EXISTING TREE TO REMAIN

GENERAL DEMOLITION NOTES

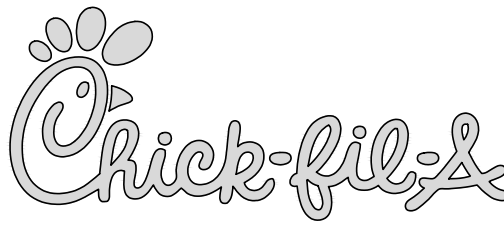
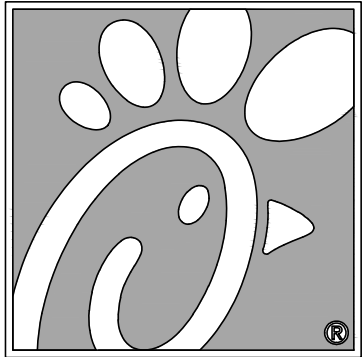
1. THE LOCATION OF THE UTILITIES SHOWN HAVE BEEN DETERMINED BY INFORMATION GATHERED AND SHALL NOT BE USED AS EXACT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO VERIFY EXACT LOCATIONS PRIOR TO DEMOLITION.
2. THE CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES FOR REMOVAL AND RELOCATIONS OF THE RESPECTIVE UTILITY. THE CONTRACTOR SHALL VERIFY ANY WORK THAT MAY BE DONE BY THE UTILITY COMPANIES.
3. CONTRACTOR SHALL PROTECT THE PUBLIC WITH BEST MANAGEMENT PRACTICES.
4. CONTRACTOR SHALL PROTECT AND MAINTAIN ALL STRUCTURES, PAVEMENT, AND VEGETATION THAT IS NOT TO BE DISTURBED AND IS RESPONSIBLE FOR ANY DAMAGES TO THEM.
5. THE CONTRACTOR SHALL PROPERLY DISPOSE OF ALL MATERIALS RESULTING FROM THE WORK, ACCORDING TO GOVERNING AUTHORITIES AND SHALL OBTAIN THE PROPER PERMITS REQUIRED FOR DISPOSAL AND DEMOLITION.
6. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO DEMOLITION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SERVICES TO ANY NECESSARY UTILITIES DURING CONSTRUCTION.
8. FOR ALL ITEMS NOTED TO BE REMOVED, REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALSO REMOVE ALL UNDERGROUND ELEMENTS AS WELL INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, PIPES, TANKS, ETC.
9. BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK MEETING THE REQUIREMENTS FOR FILL OUTLINED IN THE GEOTECHNICAL INVESTIGATION REPORT FOR THIS SITE.
10. THE CONTRACTOR SHALL REFER TO THE ASBESTOS REPORT TO DETERMINE IF ASBESTOS ABATEMENT IS REQUIRED. IF REQUIRED, ASBESTOS AND ANY OTHER HAZARDOUS MATERIAL SHALL BE PROPERLY PERMITTED AND REMOVED BY THE CONTRACTOR. CONTRACTOR SHALL SECURE ALL PERMITS FOR DEMOLITION AND REMOVAL OF MATERIALS FROM THE SITE.
11. LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE PLANS. ANY DAMAGE TO ANY SURROUNDING AREAS SHALL BE REPAIRED / REPLACED AT THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROTECT ADJACENT STRUCTURES, PAVEMENT, UTILITIES, LANDSCAPE, ETC. FROM DAMAGE DURING CONSTRUCTION.
12. CONTRACTOR SHALL ENSURE THAT SERVICES TO ALL UTILITIES TO BE REMOVED HAS BEEN DISCONTINUED AND SHUT OFF. ALL UTILITY LINES SHALL BE CAPPED PER UTILITY COMPANY STANDARDS.
13. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANS TO DETERMINE IF EXISTING PERIMETER TREES/LANDSCAPING ARE TO REMAIN OR BE REMOVED.

CITY OF DESTIN DUST CONTROL REQUIREMENTS:

1. GRADING OPERATIONS WILL NOT BE CONDUCTED WHEN WINDS EXCEED 20 MILES PER HOUR.
2. WATER WILL BE APPLIED WITH HOSE OR WATER TRUCK, AS NECESSARY, DURING EXCAVATION ACTIVITIES.
3. CONTRACTOR SHALL ENSURE THAT ANY OPEN-BODIED TRUCKS, TRAILERS OR OTHER VEHICLES TRANSPORTING PARTICULATE MATTER SHALL BE COVERED OR WETTED TO MINIMIZE DUST GENERATION DURING TRANSPORT.
4. STOCKPILED MATERIAL SHALL BE COVERED OR WETTED, AS REQUIRED, TO MINIMIZE DUST GENERATION DURING HIGH WIND CONDITIONS.
5. CONTRACTOR SHALL MINIMIZE THE HEIGHTS INVOLVED IN TRANSFER PROCESSES INVOLVING FREE FALL OF SOIL OR OTHER PARTICULATE MATTER TO MINIMIZE DUST EMISSIONS.
6. WATER WILL BE APPLIED BY HOSE OR WATER TRUCK, AS NECESSARY, TO UNPAVED SURFACES, INCLUDING ADJACENT RIGHT-OF-WAYS, OR ANY OTHER SURFACE THAT COULD CREATE AIRBORNE DUST.
7. GROUND COVER WILL BE PLACED FOR ALL OPEN AREAS IMMEDIATELY AFTER CONSTRUCTION ACTIVITIES HAVE COMPLETED.
8. DESIGNATED ROUTES WITHIN THE JOB SITE THAT WILL BE USED BY VEHICLES TRANSPORTING SOIL OR OTHER MATERIALS TO AND FROM THE SITE SHALL BE CLEARLY INDICATED.
9. CONTRACTOR SHALL PROVIDE BRUSHES, BROOMS, WATER, OR PRESSURE WASHERS, AS REQUIRED, TO REMOVE SOIL, SAND, DIRT AND ANY OTHER PARTICULATE MATTER FROM VEHICLE TIRES AND UNDERCARRIAGES PRIOR TO LEAVING THE SITE IN ORDER TO PREVENT THE TRACKING OUT OF SAID SOIL, SAND, DIRT AND ANY OTHER PARTICULATE MATTER ONTO THE ADJACENT RIGHT-OF-WAYS.
10. MAXIMUM SPEED OF CONSTRUCTION EQUIPMENT OR MATERIAL DELIVERIES SHALL BE 20 MILES PER HOUR.
11. ANY SOIL, SAND AND OTHER MATERIAL DEPOSITED OR EMITTED ONTO ANY RIGHT-OF-WAY NEAR THE SITE SHALL BE REMOVED WITHIN 48 HOURS.
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ANY DUST CONTROL SYSTEMS AND/OR DEVICES, INCLUDING BUT NOT LIMITED TO WATER APPLICATION SYSTEMS, FILTER REPLACEMENT, OR DAILY REMOVAL OF EXCESS DUST FROM CONTAINMENT AREAS ARE IN PROPER WORKING CONDITIONS PER MANUFACTURER'S REQUIREMENTS OR STANDARD INDUSTRY PRACTICE.
13. MONITORING OF DUST EMISSIONS SHALL BE DONE TO ENSURE COMPLIANCE WITH RELEVANT REGULATORY REQUIREMENTS.
14. CONTRACTOR SHALL MAINTAIN A DAILY DUST CONTROL CHECKLIST AND SHALL PROVIDE TO THE CITY UPON REQUEST TO DOCUMENT COMPLIANCE WITH THESE REQUIREMENTS, AND MAINTAIN AT THE JOB SITE AT ALL TIMES.
15. THE CONTRACTOR SHALL PROVIDE TO THE CITY A COPY OF THE DAILY DUST CONTROL CHECKLIST ON WHICH THE CONTRACTOR SHALL DOCUMENT THE COMPLIANCE OF THE MITIGATION ACTIVITIES DETAILED IN THE DUST CONTROL PLAN.

CITY OF DESTIN VIBRATION IMPACT MITIGATION REQUIREMENTS:

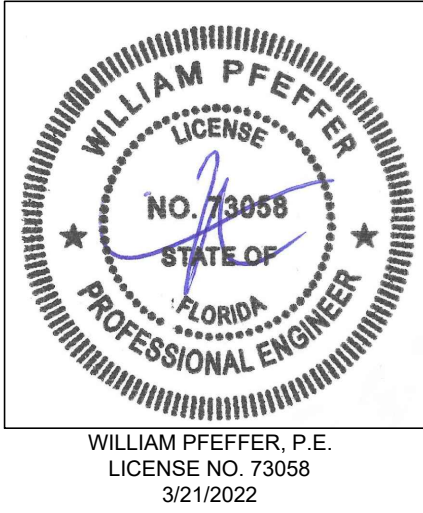
1. ANY ACTIVITY INCLUDING, BUT NOT LIMITED TO: PILE DRIVING, EARTHWORK COMPACTION, CONCRETE AND ASPHALT BREAKING WILL NOT TRANSMIT VIBRATIONS TO SENSITIVE RECEPTORS AT OR ABOVE THE FEDERAL TRANSIT ADMINISTRATION (FTA) APPROXIMATE VIBRATION DAMAGE THRESHOLD OF 95 VIBRATION DECIBELS (VDB).
2. FOR ANY ACTIVITY EXCEEDING 80 VDB THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE CITY OF DESTIN WITH A VIBRATION MINIMIZATION AND MITIGATION PLAN TO REDUCE IMPACTS TO THE SURROUNDING AREAS.
3. GENERAL CONTRACTOR FOR THE PROJECT SHALL ADHERE TO THE VIBRATION IMPACT MITIGATION PLAN DURING THE CONSTRUCTION OF THE PROJECT.
4. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE TO THE CITY FOR REVIEW AND APPROVAL A WRITTEN VIBRATION IMPACT MITIGATION PLAN. THE PLAN MUST BE PREPARED, SIGNED, DATED AND SEALED BY A FLORIDA-REGISTERED PROFESSIONAL ENGINEER.



5200 Buffington Rd.
Atlanta Georgia,
30349-2998



Seal



CHICK-FIL-A
DESTIN RELOCATION
HIGHWAY 98 E
DESTIN, FL 32541

FSU# 4796

REVISION SCHEDULE
NO. DATE DESCRIPTION

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CURRENT DESIGN
NOTE APPLIED 2017-029
PROJECT # 010014-01-126
PRINTED FOR PERMIT
DATE 3/21/2022
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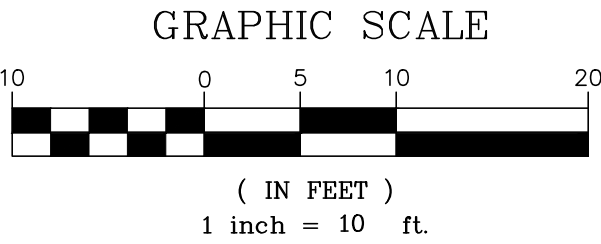
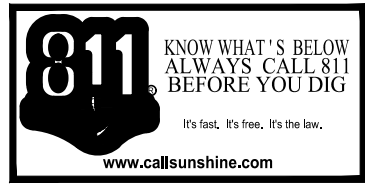
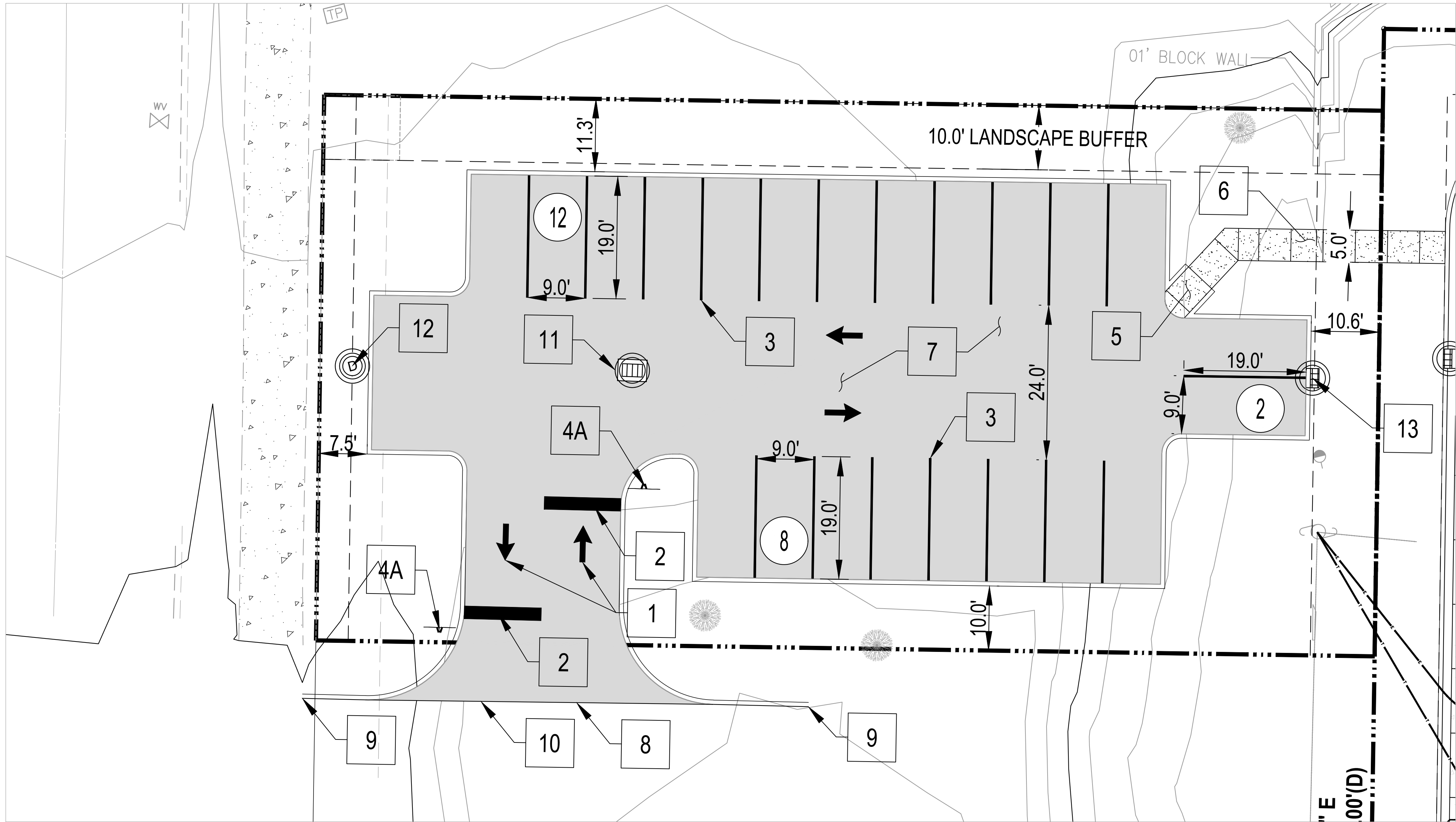
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SHEET
DEMOLITION PLAN

SHEET NUMBER

C-1.2

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LEGEND	
PROP. ASPHALT DRIVE	EX. CONCRETE SIDEWALK
PROP. CONC. SIDEWALK	EX. CONCRETE D CURB
PROP. TYPE "D" CURB	EX. CONCRETE F CURB
PROP. PARKING STRIPE	EX. POWER POLE
PROP. SITE SIGNAGE	EX. GUY WIRE
PROP. SITE INLET	EX. EDGE OF PAVEMENT
	EX. EDGE OF SIDEWALK
	EX. TELEPHONE PEDESTAL
	EX. OVERHEAD ELECTRIC
	EX. IRRIGATION CONTROL VALVE
	EX. WATER VALVE
	EX. BACKFLOW PREVENTER
PROP. MANHOLE COVER	

FLOOD ZONE NOTE

1. THE LANDS BOUND BY THIS SURVEY ARE LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION "X" (AREA OF MINIMAL FLOOD HAZARD) BY THE FEDERAL MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP NUMBER 12091CD488H, MAP REVISED DECEMBER 6, 2002.

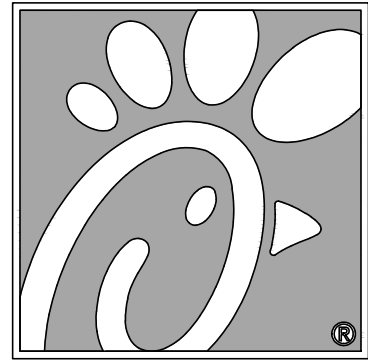
SITE SUMMARY	
ZONING	TOWN CENTER MIXED USE (TCMU)
FLU	TOWN CENTER MIXED USE (TCMU)
OVERLAY	TOWN CENTER MIXED USE (TCMU)
USE	PARKING LOT
TYPE OF CONSTRUCTION	COMMERCIAL
PARCEL ID	00-2S-22-0000-0013-019A
LOT	
SIZE	85' X 165'
PARKING	
STALL SIZE	9' X 19'
PROVIDED	22

LANDSCAPE BUFFERS		
SETBACKS	REQUIRED	PROVIDED
FRONT (SOUTH)	0'	10'
REAR (NORTH)	10'	11.3'
SIDE (EAST)	5'	7.5'
SIDE (WEST)	10'	10.6'

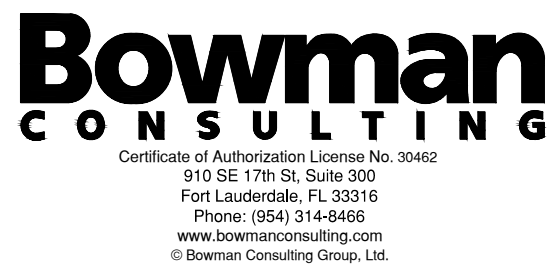
CHICK-FIL-A SITE CALCULATIONS			
Area	SF	Acres	%
Total	13930	0.32	100.00
Pervious	5920	0.14	42.50
Impervious	8010	0.18	57.50
Pavement	7194	0.17	51.64

SITE NOTES

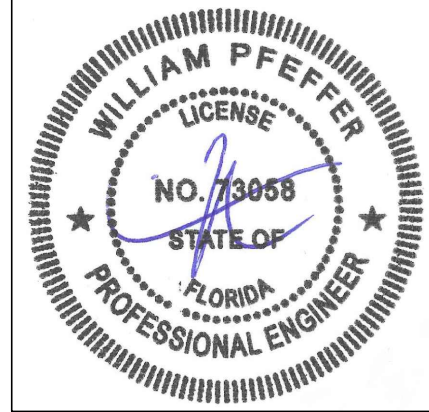
1. CONST. DIRECTIONAL ARROW (TYP.)
2. CONST. STOP LINE GRAPHIC PER FDOT STANDARD PLANS INDEX 711-001
3. CONST. STANDARD PARKING STALL
4. DIRECTIONAL SIGNAGE (REFER TO SIGN PACKAGE FOR MORE DETAILS)
- 4A. STOP SIGN (R1-1) PER FDOT STANDARD PLANS INDEX 700-010
5. CONST. 6" SIDEWALK RAMP @ 1:12 SLOPE
6. CONST. TYPICAL CONCRETE SIDEWALK
7. CONST. ASPHALT PAVEMENT
8. CONST. PAVEMENT EDGE
9. CONNECT TO EXISTING CURB/GUTTER
10. CONNECT TO EXISTING EDGE OF PAVEMENT
11. CONST. TYPE C INLET
12. CONST. STORM MANHOLE
13. CONST. TYPE 9 CURB INLET



5200 Buffington Rd.
Atlanta Georgia,
30349-2998



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WILLIAM PFEFFER, P.E.
LICENSE NO. 73058
3/21/2022

CHICK-FIL-A
DESTIN RELOCATION
HIGHWAY 98 E
DESTIN, FL 32541

FSU# 4796

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

FOR PERMIT

CURRENT DESIGN	2017-029
NOTE APPLIED	
PROJECT #	010014-01-126
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SHEET PLAN

SHEET NUMBER

C-2.0

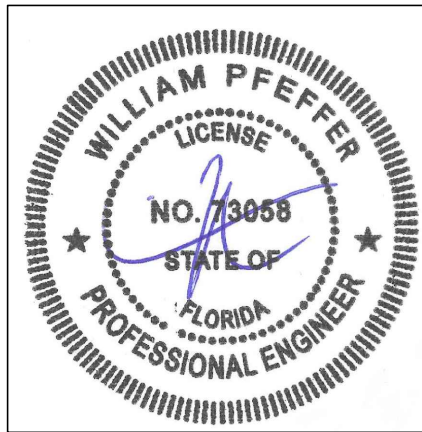


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LICENSE NO. 73058
3/21/2022

CHICK-FIL-A

DESTIN RELOCATION

HIGHWAY 98 E
DESTIN, FL 32541

FSU# 4796

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

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PROJECT #	010014-01-12
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SHEET
GRADING AND
DRAINAGE PLAN
SHEET NUMBER

C-3.0



GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.



LEGEND			
PROP. ASPHALT DRIVE		PROPERTY LINE	
PROP. CONC. SIDEWALK		EX. CONCRETE D CURB	
PROP. TYPE "D" CURB		EX. CONCRETE F CURB	
PROP. PARKING STRIPE		EX. POWER POLE	
PROP. SITE SIGNAGE		EX. GUY WIRE	
		EX. EDGE OF PAVEMENT	
		EX. EDGE OF SIDEWALK	
		EX. TELEPHONE PEDESTAL	
		EX. OVERHEAD ELECTRIC	
		EX. IRRIGATION CONTROL VALVE	
		EX. WATER VALVE	
		EX. BACKFLOW PREVENTER	

GRADING AND DRAINAGE NOTES

- 1 CONSTRUCT 102 LF OF 15" HDPE @ 0% SLOPE
- 2 CONSTRUCT 40 LF OF 15" HDPE @ 0% SLOPE
- 3 CUT INTO EXISTING 18" HP DRAINAGE PIPE (CONTRACTOR TO VERIFY EXISTING INVERT ELEV.)

FLOOD ZONE NOTE

1. THE LANDS BOUND BY THIS SURVEY ARE LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION "X" (AREA OF MINIMAL FLOOD HAZARD) BY THE FEDERAL MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP NUMBER 12091CD488H, MAP REVISED DECEMBER 6, 2002

DATUM NOTE

1. THE ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND ARE BASED UPON THE FOLLOWING FLORIDA DEPARTMENT OF NATURAL RESOURCES BENCHMARK: "OKA2", BRASS DISK IN CONCRETE STORM DRAIN; ELEVATION = 23.02' (NAVD 88)

DRAINAGE STRUCTURE TABLE

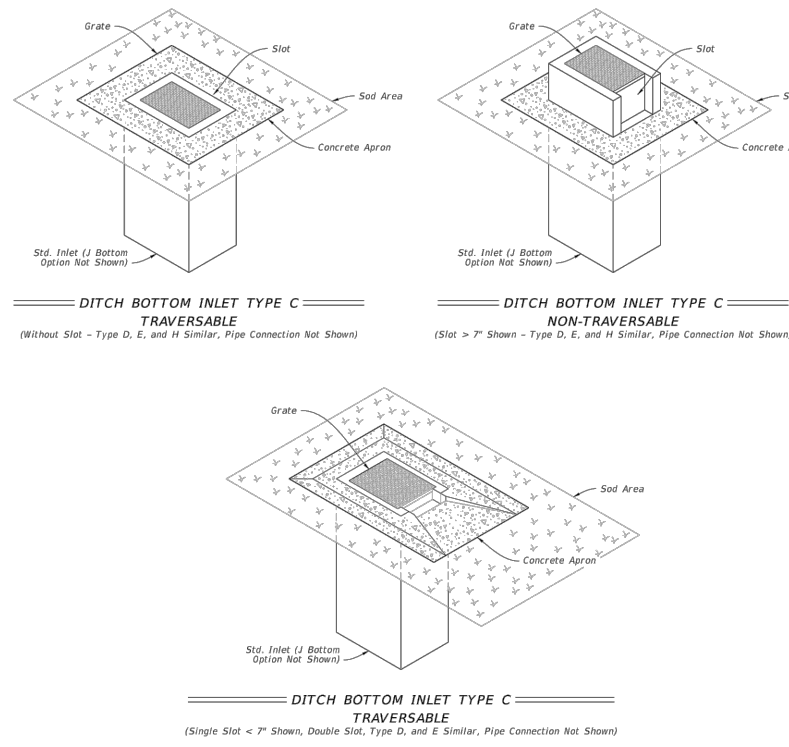
DRAINAGE STRUCTURE TABLE												
STRC. NUMBER	BOTTOM STRC. TYPE	TOP TYPE	RIM	N INV.	S INV.	E INV.	W INV.	NE INV.	NW INV.	SE INV.	SW INV.	REMARKS
I-1	4' DIA. TYPE P	TYPE 9 INLET	19.89	-----	-----	-----	15.89	-----	-----	-----	-----	4' DIA. TYPE P BOTTOM W/ TYPE 9 TOP
I-2	4' DIA. TYPE P	TYPE "C" INLET	20.01	-----	-----	16.01	16.01	-----	-----	-----	-----	4' DIA. TYPE P BOTTOM W/ TYPE C TOP
M-1	4' DIA. TYPE P	MANHOLE COVER	20.85	-----	-----	16.85	-----	-----	-----	-----	-----	4' DIA. TYPE P BOTTOM W/ MANHOLE COVER

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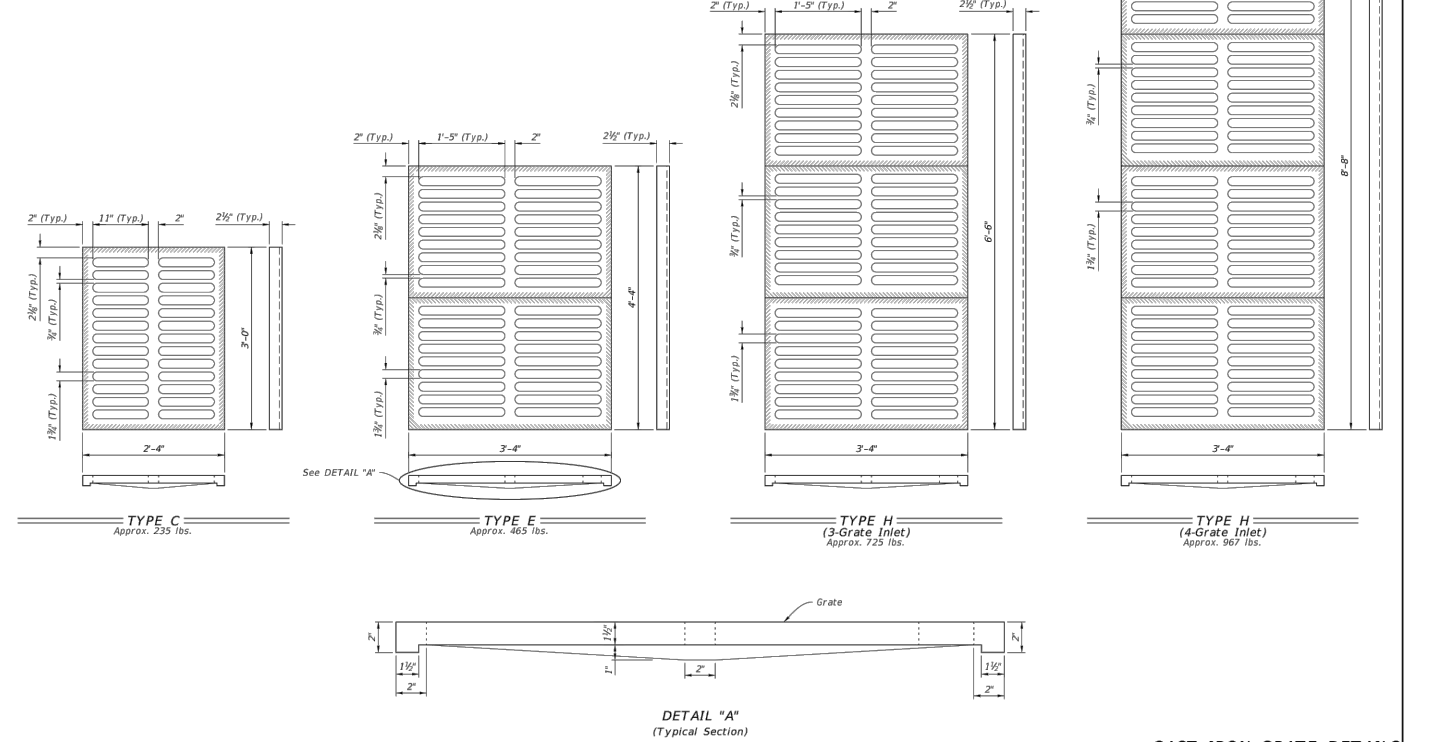
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGN PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF ANY MATERIAL HEREIN FOR ANY OTHER PURPOSE, WITHOUT WRITTEN AUTHORIZATION, AND ADAPTATION BY BOWMAN CONSULTING SHALL BE PROHIBITED. LIABILITY TO BOWMAN CONSULTING.

- GENERAL NOTES:
1. Work this sheet with sheets 425-001 and 425-002.
 2. Details of proposed items shall comply to standard or listed to "I" values.
 3. All reinforcing in 6" x 6" bars with 2" minimum cover unless otherwise noted. All bar ends shall be 18" minimum unless otherwise specified. Provide one additional bar for each end of each side of slab opening.
 4. Use concrete shown on every adjacent sheet and finish with non-reflective, dark gray finish unless noted on other sheets.
 5. Quantities are for informational and estimating purposes only.

Sheet	Description
1	General Notes and Details
2	Type C - Dimensional, Reinforcing, and Steel Details
3	Type D - Dimensional, Reinforcing, and Steel Details
4	Type E - Dimensional, Reinforcing, and Steel Details
5	Type F - Dimensional, Reinforcing, and Steel Details
6	Type G - Dimensional, Reinforcing, and Steel Details
7	Type H - Dimensional, Reinforcing, and Steel Details
8	Non-Transferable Steel Details
9	Transferable Steel Details
10	Transferable Steel Details
11	Transferable Steel Details
12	Transferable Steel Details
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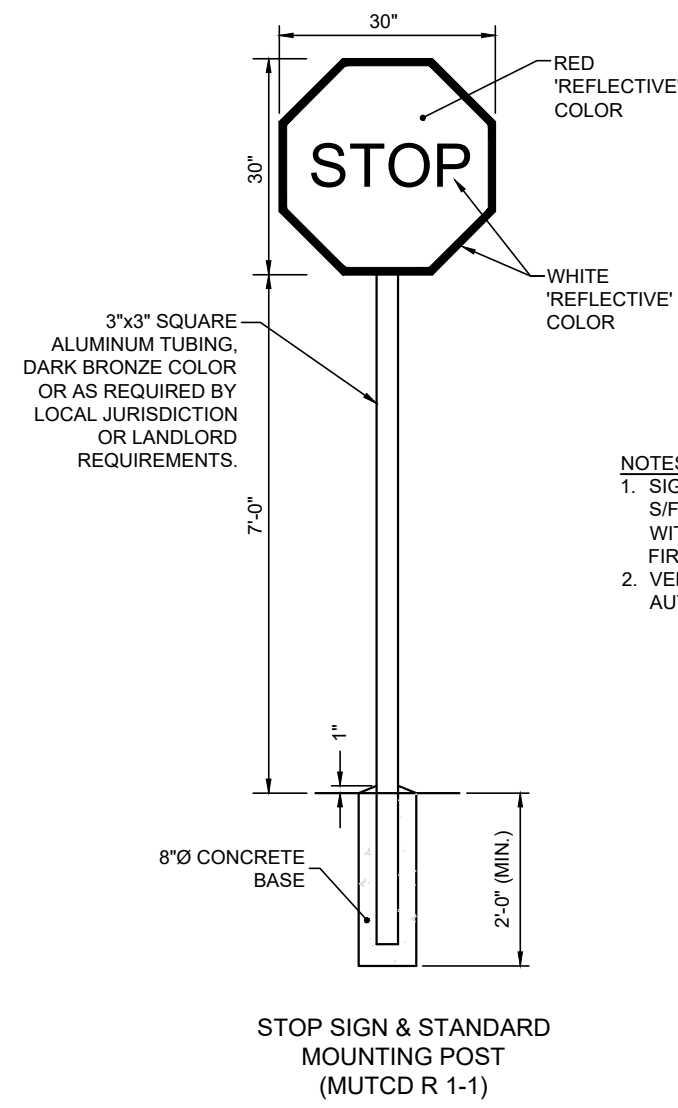


NOTES:
1. Detail shall be subject to field and variable.
2. Detail shall be subject to field and variable.
3. Detail shall be subject to field and variable.



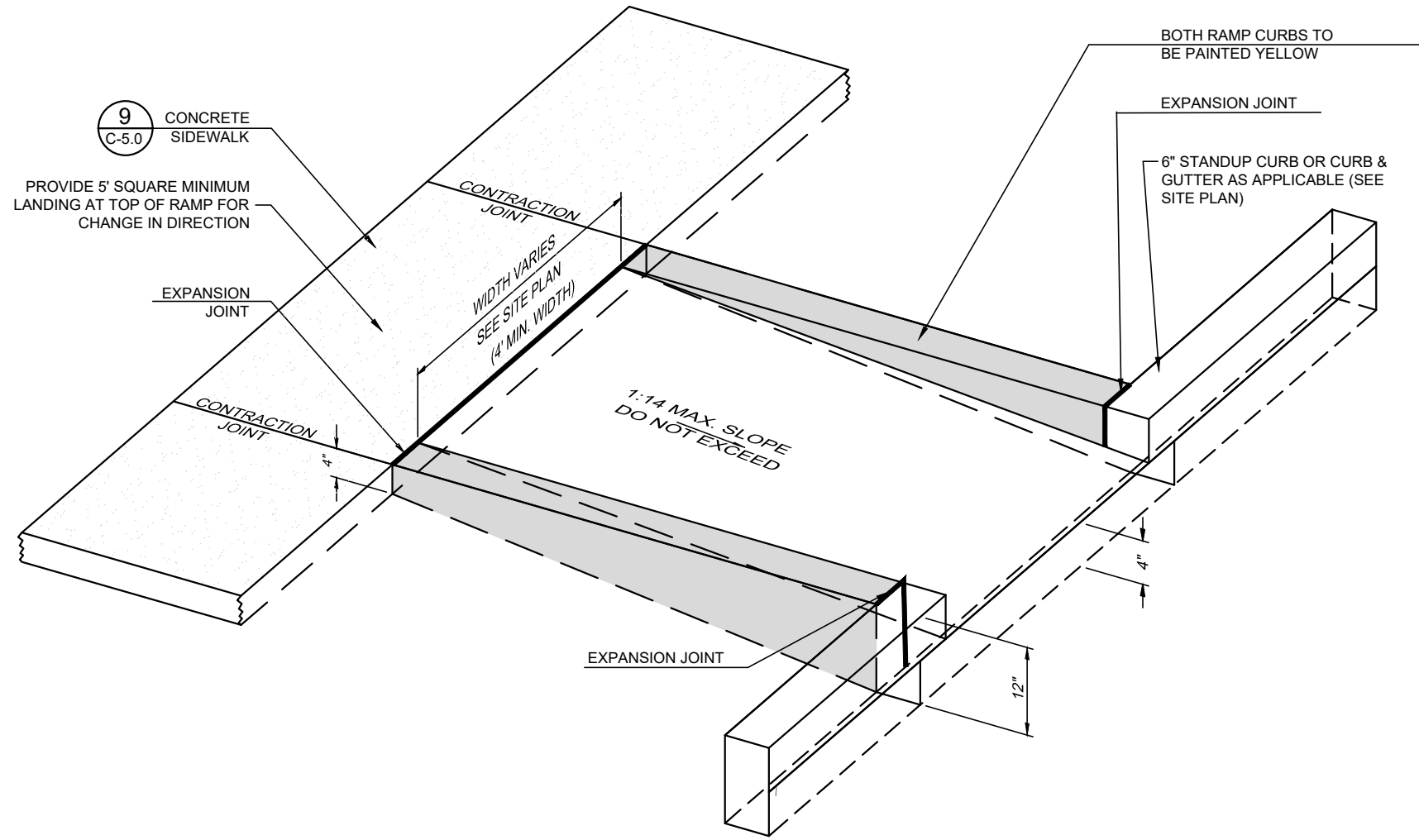
1 DITCH BOTTOM INLET TYPE C

C-5.0 NOT TO SCALE



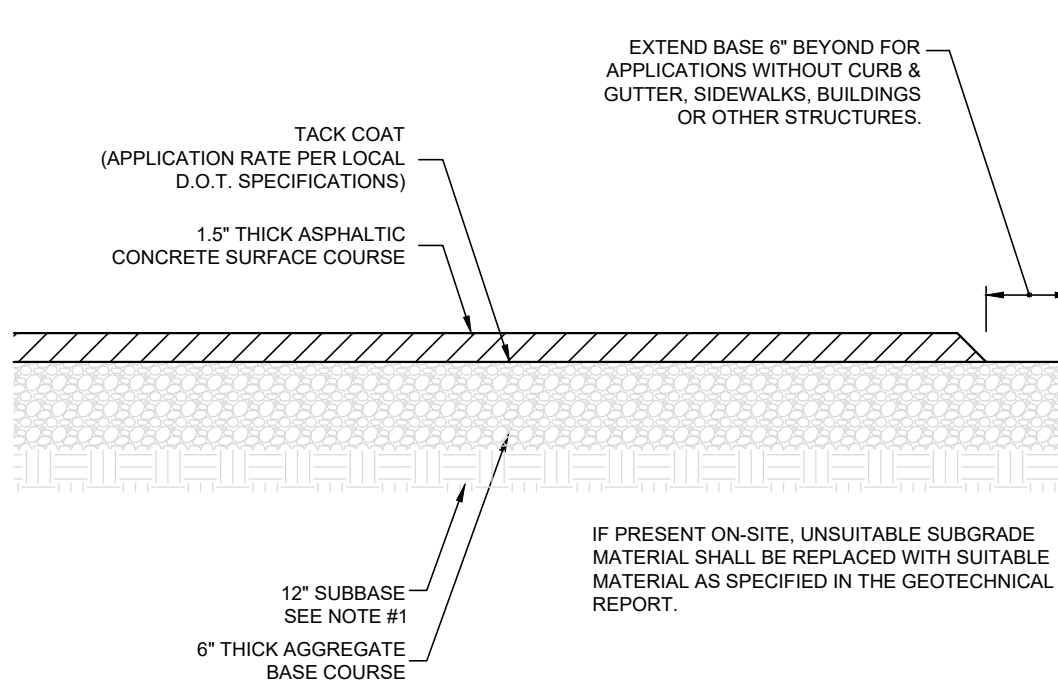
4 STOP SIGN

C-5.0 NOT TO SCALE



5 RETURNED CURB ACCESSIBLE RAMP

C-5.0 NOT TO SCALE

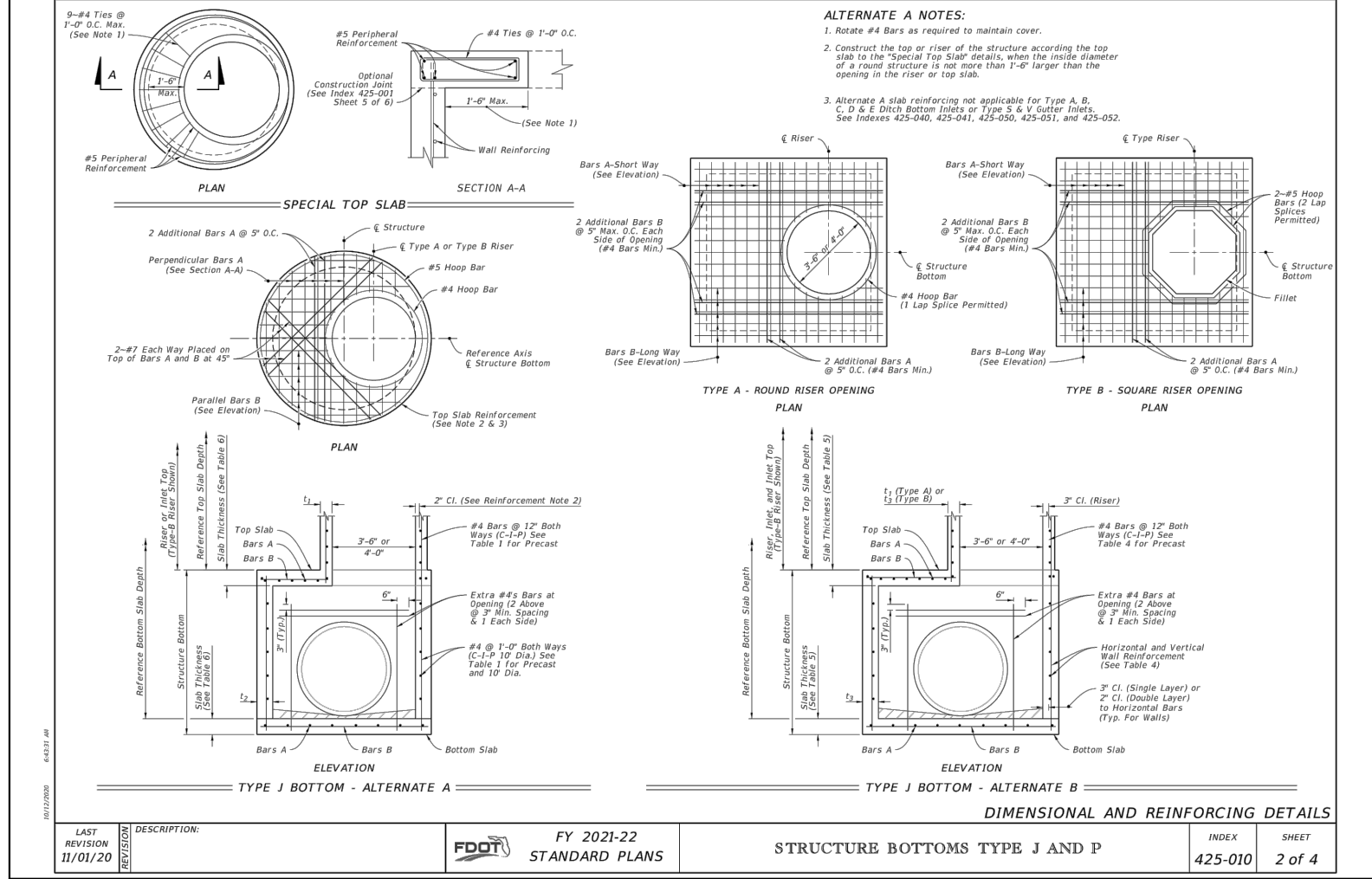


8 TYPICAL HMAc PAVEMENT SECTION

C-5.0 NOT TO SCALE

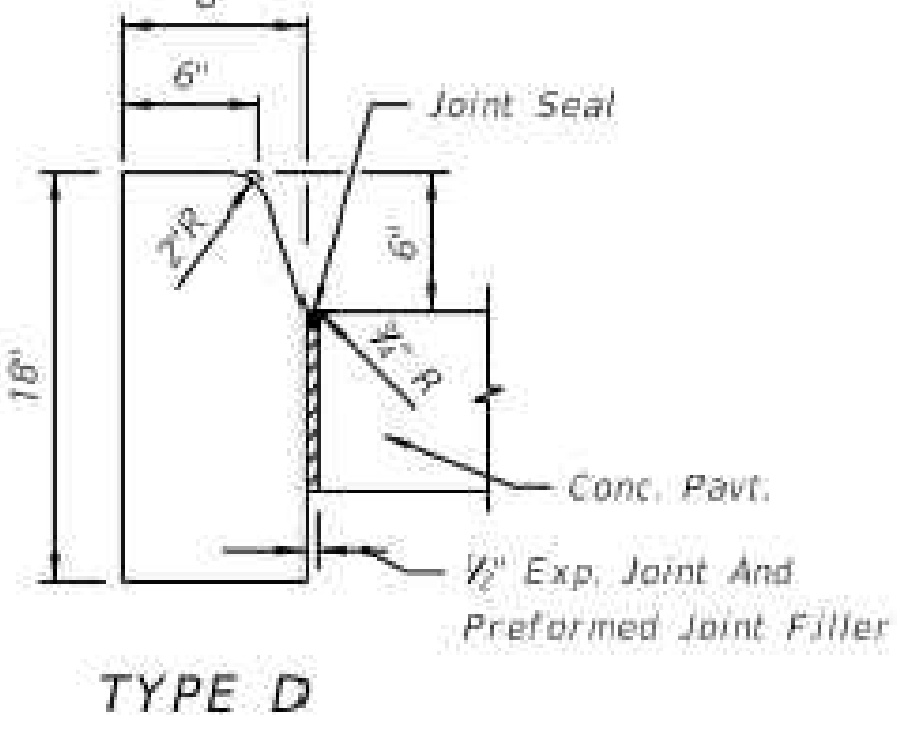
6 STRUCTURE BOTTOMS TYPE P

C-5.0 NOT TO SCALE



2 CURB TYPE D

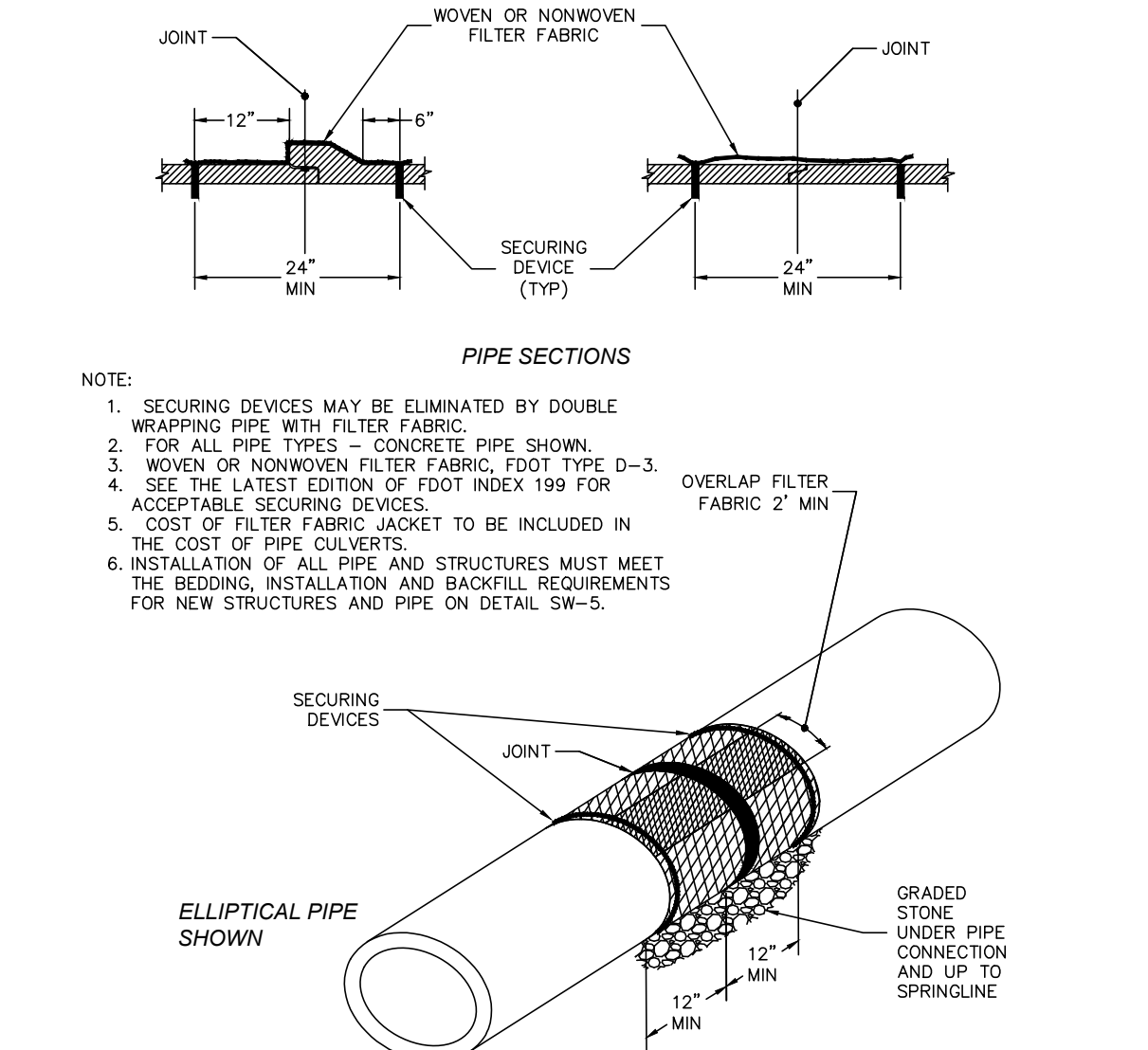
C-5.0 NOT TO SCALE



Note: For use adjacent to concrete or flexible pavement, concrete shown. Expansion joint, preformed joint filler and joint seal are required between curbs and concrete pavement only, see Sheet 2.

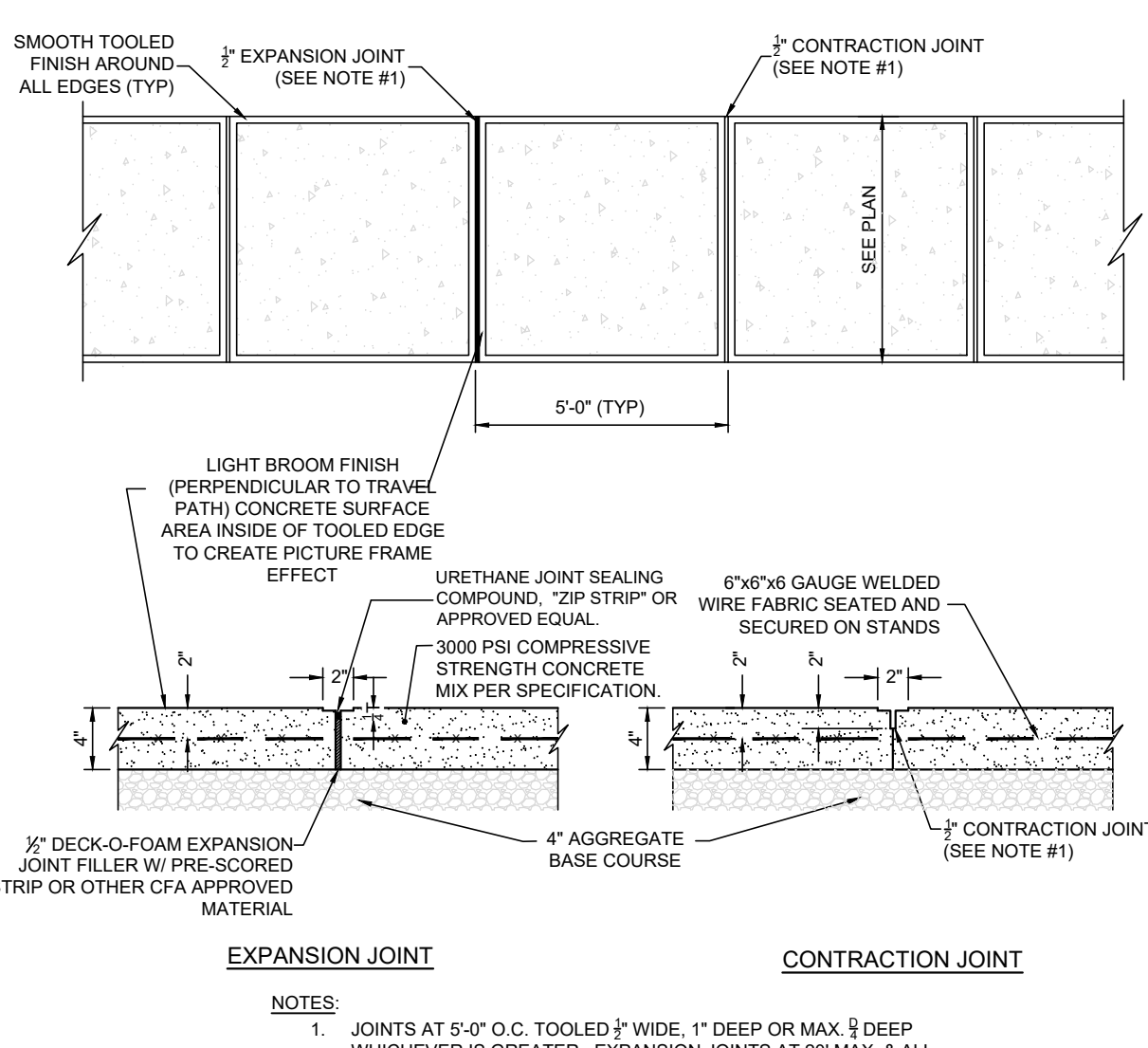
7 FILTER FABRIC FOR STORM PIPE

C-5.0 NOT TO SCALE



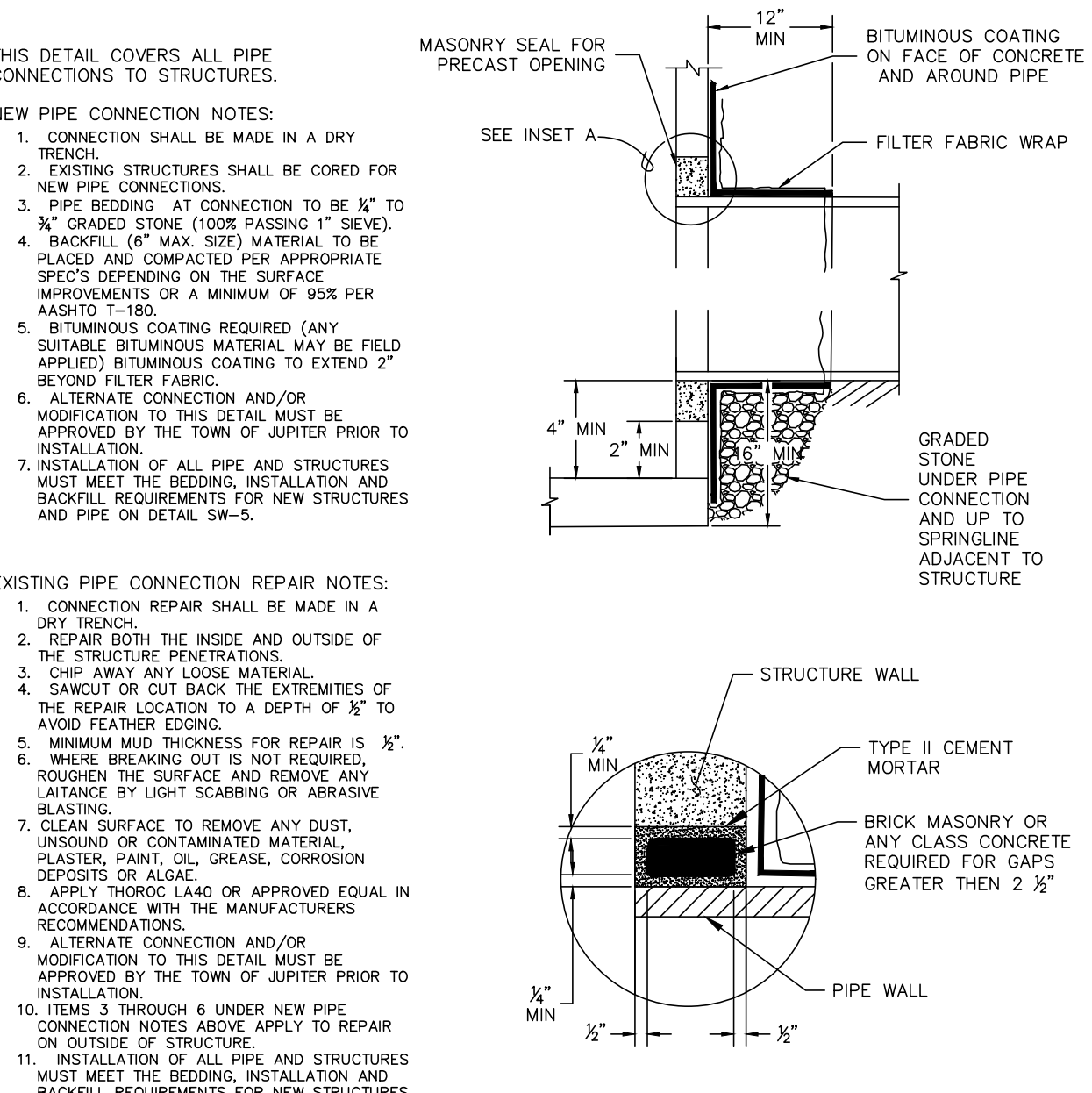
9 CONCRETE SIDEWALK

C-5.0 NOT TO SCALE



3 PIPE TO STRUCTURE CONNECTION

C-5.0 NOT TO SCALE



EXISTING PIPE CONNECTION REPAIR NOTES:
1. CONNECTION REPAIR SHALL BE MADE IN A DRY TRENCH.
2. REPAIR BOTH THE INSIDE AND OUTSIDE OF THE STRUCTURE PENETRATIONS.
3. CHISEL AWAY ANY LOOSE MATERIAL.
4. SAWCUT OR CUT BACK THE EXTREMITIES OF THE REPAIR LOCATION TO A DEPTH OF 1/2" TO AVOID FEATHER EDGING.
5. MINIMUM MUD THICKNESS FOR REPAIR IS 1/2".
6. WHERE BREAKING OUT IS NOT REQUIRED, ROUGHEN THE SURFACE AND REMOVE LAMINATE BY LIGHT SCABBING OR ABRASIVE BLASTING.
7. CLEAN SURFACE TO REMOVE ANY DUST, UNBOUND OR CONTAMINATED MATERIAL, CLASTER, PAINT, OIL, GREASE, CORROSION DEPOSITS OR ALGAE.
8. APPLY THOROC L400 OR APPROVED EQUAL IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
9. ALTERNATE CONNECTION AND/OR MODIFICATION TO THIS DETAIL MUST BE APPROVED BY THE TOWN OF JUPITER PRIOR TO INSTALLATION.
10. ITEMS 3 THROUGH 6 UNDER NEW PIPE CONNECTION NOTES ABOVE APPLY TO REPAIR ON OUTSIDE OF STRUCTURE.
11. INSTALLATION OF ALL PIPE AND STRUCTURES MUST MEET THE BEDDING, INSTALLATION AND BACKFILL REQUIREMENTS FOR NEW STRUCTURES AND PIPE ON DETAIL SW-5.

FOR PERMIT

REVISION SCHEDULE	NO.	DATE	DESCRIPTION
CURRENT DESIGN	2017-029		
NOTE APPLIED			
PROJECT #	010014-01-126		
PRINTED FOR	PERMIT		
DATE	3/21/2022		
DRAWN BY	JL		

SHEET
SITE AND DRAINAGE
DETAILS
SHEET NUMBER

C-5.0

CHICK-FIL-A
DESTIN RELOCATION
HIGHWAY 98 E
DESTIN, FL 32541

FSU# 4796

REVISION SCHEDULE

NO. DATE DESCRIPTION

CURRENT DESIGN 2017-029

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PROJECT # 010014-01-126

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DATE 3/21/2022

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SHEET

SITE AND DRAINAGE

DETAILS

SHEET NUMBER

C-5.0

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21 March 2022

Re: Proposed Parking Area

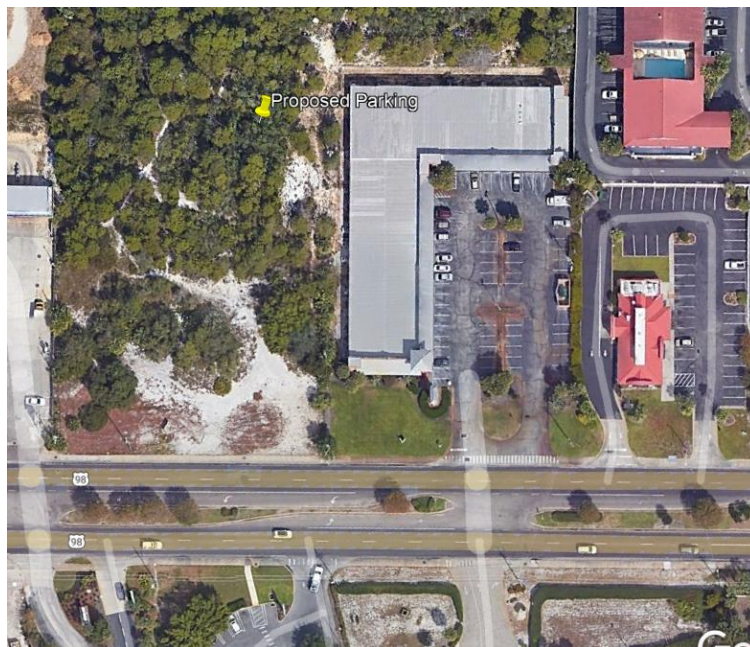
1015 US Highway 98 E Destin, FL 32541

Parcel ID: 00-2S-22-0000-0013-019A
Zoning District: Town Center Mixed Use (TCMU)
Future Land Use: Town Center Mixed Use (TCMU)
Request: Proposal to build additional parking area for the Chick-fil-A restaurant.

Narrative Letter

The applicant (Chick-Fil-A, Inc) is looking to purchase a section of the parcel located at 1015 Highway 98 East. The underdeveloped parcel is currently vacant and has vegetation along with trees. The applicant seeks to construct a parking area consisting of 22 parking spaces with affiliated drainage infrastructure, driveway access, and sidewalk access. This parcel will be used as an extra parking area for CFA employees.

The ±0.32-acre parcel is associated with parcel ID 00-2S-22-0000-0013-019A. The parcel is part of the Charles Development order (DO). The applicant will be deviating from the Charles DO and developing the parking lot independently. The site is zoned Town Center Mixed Use (TCMU) with the same future land use. A conditional use permit will be filed with the city of Destin since a parking lot is a conditional use in the current zoning district.



If you have any questions or require additional information, please do not hesitate to contact us,

A handwritten signature in blue ink, appearing to be 'Jenny Baez', with a stylized, cursive script.

Jenny Baez

Branch Manager

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Bowman